

2	Issued for ZBA Resubmission	Jan. 31, '25
1	Issued for ZBA	Jul. 04, '24
NO:	REVISIONS:	ISSUED:

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CLIENT:
Canadian Addiction Treatment Centres

PROJECT:
**5483 Trafalgar Rd
Erin, ON.**

SHEET TITLE:
Existing Site Plan

PROJECT NO. 24009	DATE: January 2025
SCALE: 1:500	SHEET NO: SP1
DRAWN: SRM	
CHECKED: SRM	
FILE NO. 24009	

1 Site Plan
Scale: 1:500

LEGEND: 3000 [9'-10"] 3400 [11'-2"]
6000 [19'-8"] 1500 [4'-11"] 6000 [19'-8"]

Reference 4.26 Town of Erin Zoning By-law 07-07

NOTE:
POTENTIAL PARKING SPACES SHOWN. LOCATION SUBJECT TO CHANGE.

GENERAL NOTES
PLANS AND ELEVATIONS ARE BASED ON THE INFORMATION PROVIDED TO US BY A THIRD PARTY AS-BUILT MEASURING FIRM, AND WE BELIEVE THEM TO BE AN ACCURATE REPRESENTATION OF WHAT IS ON SITE.

Standard Municipal Notes

ALL EXTERIOR LIGHTING WILL BE DIRECTED ONTO THE THE SITE AND WILL NOT INFRINGE UPON THE ADJACENT PROPERTIES

DRIVEWAYS ON THE MUNICIPAL RIGHT OF WAY SHALL BE PAVED BY THE APPLICANT

ALL SURFACE DRAINAGE SHALL BE SELF CONTAINED AND COLLECTED AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO ISSUANCE OF BUILDING PERMITS

FIRE ROUTES SHALL BE DESIGNATED AS PER OBC ALL FIRE ACCESS ROUTES SHALL BE CONSTRUCTED OF HARD SURFACE MATERIALS SUCH AS ASPHALT, CONCRETE, OR LOCKSTONE AND DESIGNED TO SUPPORT A LOAD NOT LESS THAN 11,363 KG PER AXLE AND HAVE A CHANGE OF GRADIENT OF NOT MORE THAN 1 IN 12.5 (8%) OVER A MINIMUM DISTANCE OF 15M

GRADES WILL BE MET WITHIN A 3% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.

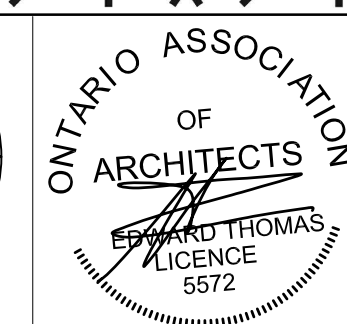
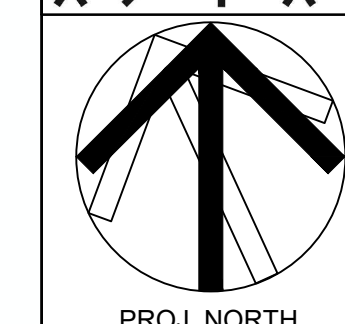
PARKING SPACES RESERVED FOR THE PHYSICALLY HANDICAPPED MUST BE IDENTIFIED BY A SIGN, INSTALLED AT THE APPLICANT'S EXPENSE, IN ACCORDANCE WITH THE DESIGN SPECIFICATIONS OF THE TOWN

EXTERIOR WASTE STORAGE FACILITIES MUST BE SCREENED BY A 2.0M HIGH SOLID SCREEN ENCLOSURE WITH A SWING GATE WHICH PROVIDES AN ACCEPTABLE APPEARANCE FROM ALL SIDES

-ALL CURBING WILL BE 15cm (6 inch) HIGH BARRIER TYPE POURED CONCRETE.
-AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB WILL BE CONTINUOUS THROUGH THE DRIVEWAY & A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.
-THE APPLICANT WILL BE RESPONSIBLE FOR ENSURING THAT ALL PLANS CONFORM TO TRANSPORT CANADA'S RESTRICTIONS.
SITE DEVELOPMENT PLAN AS APPROVED BY THE MUNICIPALITY
-THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.60m IN HEIGHT OR ANY RETAINING WALL LOCATED ON A PROPERTY LINE, IS TO BE SHOWN ON THE SITE GRADING PLAN FOR THIS PROJECT AND IS TO BE APPROVED BY THE CONSULTING ENGINEER FOR THE PROJECT.

Site Statistics

APPLICANT:	
PROPOSED USE:	Residential
LEGAL DESCRIPTION:	Part of Lot 15, Concession 7 Part of Lot 15, Concession 8; And Part of the Road Allowance Between Concessions 7 and 8 (Geographic Township of Erin) Township of Erin County of Wellington
MUNICIPAL ADDRESS:	5483 Trafalgar Road
SITE AREA:	53,078.31 sq.m (13.12 Acres)
EXISTING G.F.A.:	
Total Building Area (no deductions)	1,018.03 sq.m (10,958 sq.ft)
Ground Floor	344.74 sq.m (3,711 sq.ft)
Second Floor	326.55 sq.m (3,515 sq.ft)
Basement Level	342.04 sq.m (3,682 sq.ft)
	342.07 sq.m (3,682 sq.ft)
PROPOSED	
Building Coverage	349.41 sq.m - 0.65%
Paved Area	2,505.83 sq.m - 4.72%
Landscape Area	50,223.07 sq.m - 94.63%
Parking	20 Parking spaces
O.B.C. BUILDING AREA (footprint)	349.41 sq.m
NUMBER OF STOREYS	2
NUMBER OF STREETS FOR FIRE FIGHTING	1



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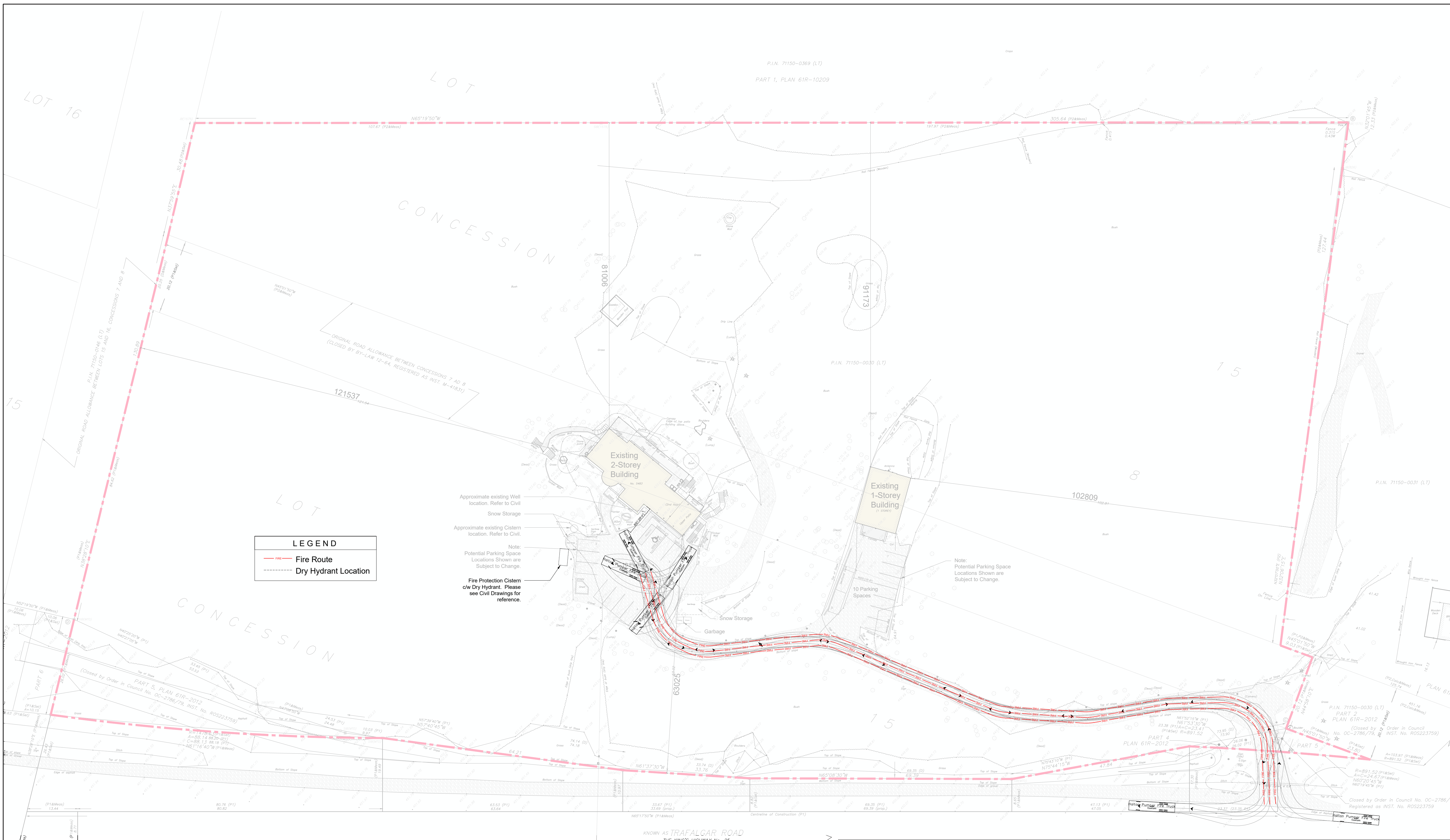
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CLIENT:
Canadian Addiction Treatment Centres

PROJECT:
**5483 Trafalgar Rd
Erin, ON.**

SHEET TITLE:
Fire Safety Plan

PROJECT NO. 24009	DATE: January 2025
SCALE: 1:500	SHEET NO.:
DRAWN: SRM	SP2
CHECKED: SRM	
FILE NO. 24009	



LEGEND

	Fire Route
	Dry Hydrant Location

Approximate existing Well location. Refer to Civil.
Snow Storage
Approximate existing Cistern location. Refer to Civil.
Note: Potential Parking Space Locations Shown are Subject to Change.
Fire Protection Cistern c/w Dry Hydrant. Please see Civil Drawings for reference.

Note: Potential Parking Space Locations Shown are Subject to Change.

1 Fire Safety Plan
Scale: 1:500

LEGEND: 3000 [8'-10"] 3400 [11'-2"]
6000 [19'-4"] 1500 [4'-11"] 6000 [19'-4"]

Reference 4.26 Town of Erin Zoning By-law 07-67

NOTE:
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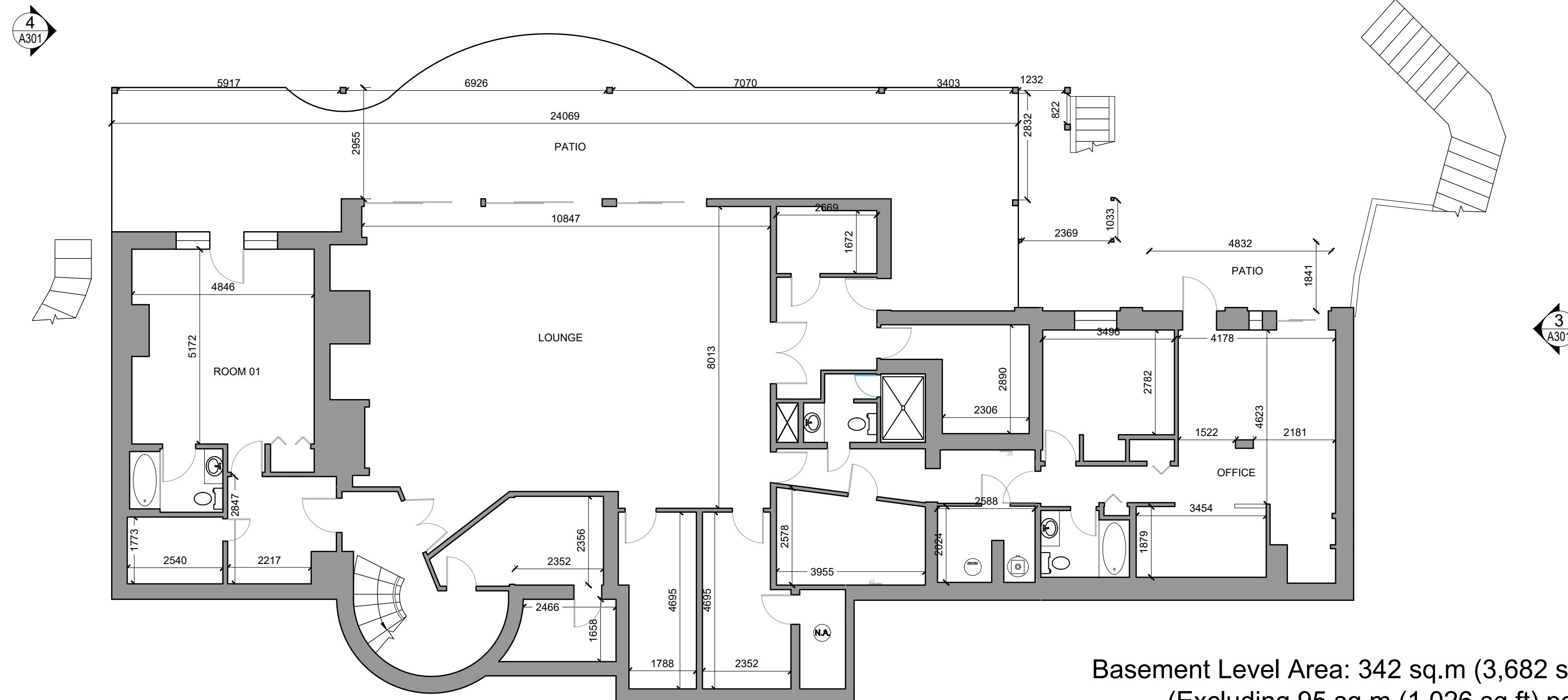
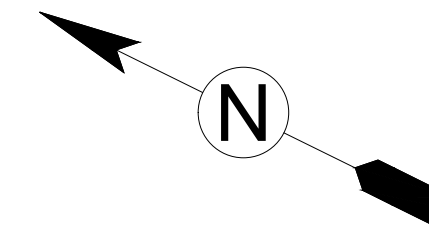
EXISTING G.F.A.:

Total Building Area (no deductions)	1,018.03 sq.m (10,958 sq.ft)
Ground Floor	344.74 sq.m (3,711 sq.ft)
Second Floor	326.55 sq.m (3,515 sq.ft)
Basement Level	342.04 sq.m (3,682 sq.ft)
	342.07 sq.m (3,682 sq.ft)

PROPOSED:

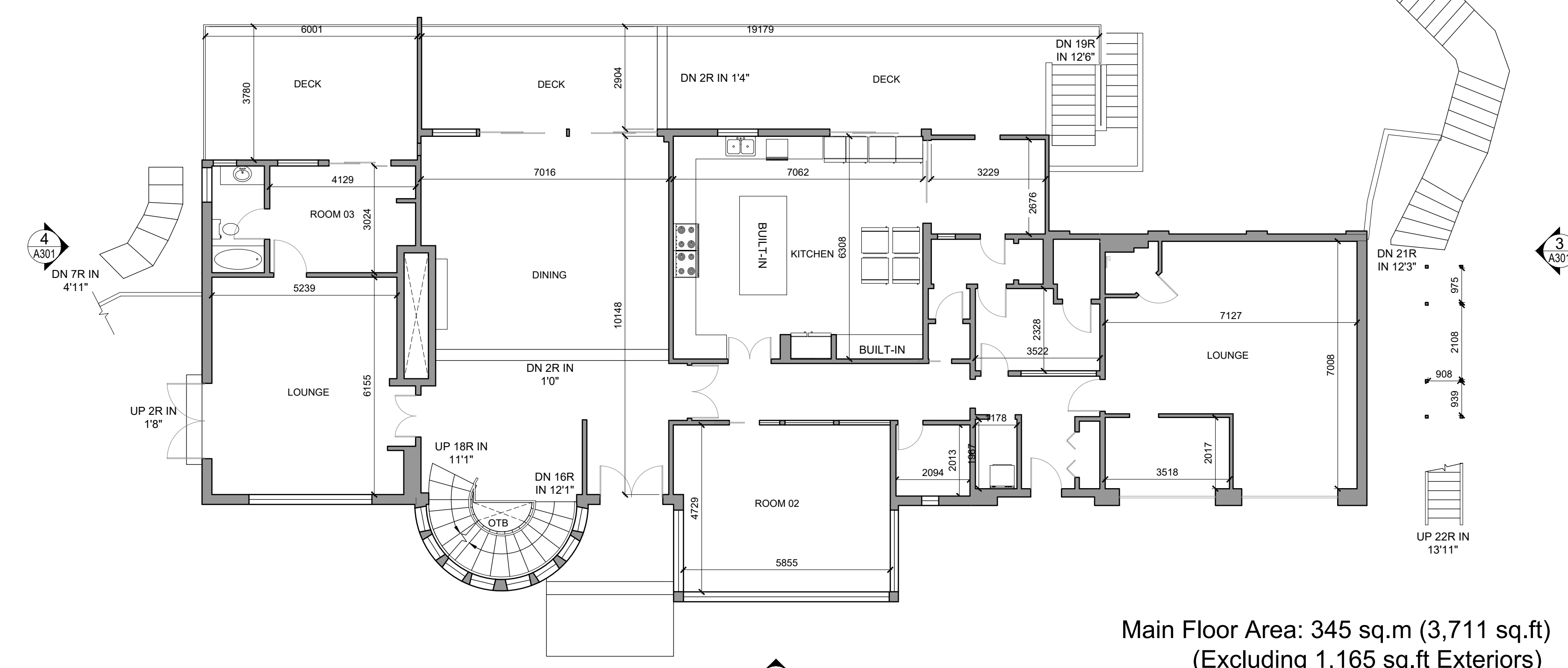
Building Coverage	349.41 sq.m - 0.65%
Paved Area	2,505.83 sq.m - 4.72%
Landscape Area	50,223.07 sq.m - 94.63%
Parking	20 Parking spaces

O.B.C. BUILDING AREA (footprint): 349.41 sq.m
NUMBER OF STOREYS: 2
NUMBER OF STREETS FOR FIRE FIGHTING: 1



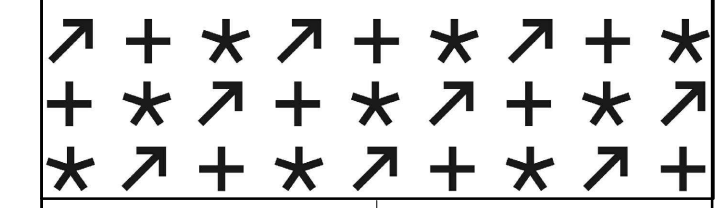
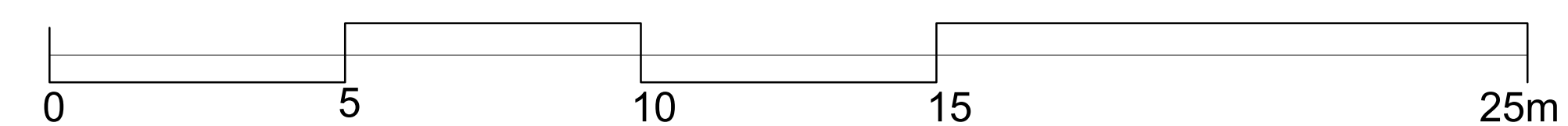
Basement Level Area: 342 sq.m (3,682 sq.ft)
(Excluding 95 sq.m (1,026 sq.ft) porch)

1 Basement Level
Scale: 1:100



Main Floor Area: 345 sq.m (3,711 sq.ft)
(Excluding 1,165 sq.ft Exteriors)

2 Main Floor
Scale: 1:100



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PROJECT:
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Erin, ON.**

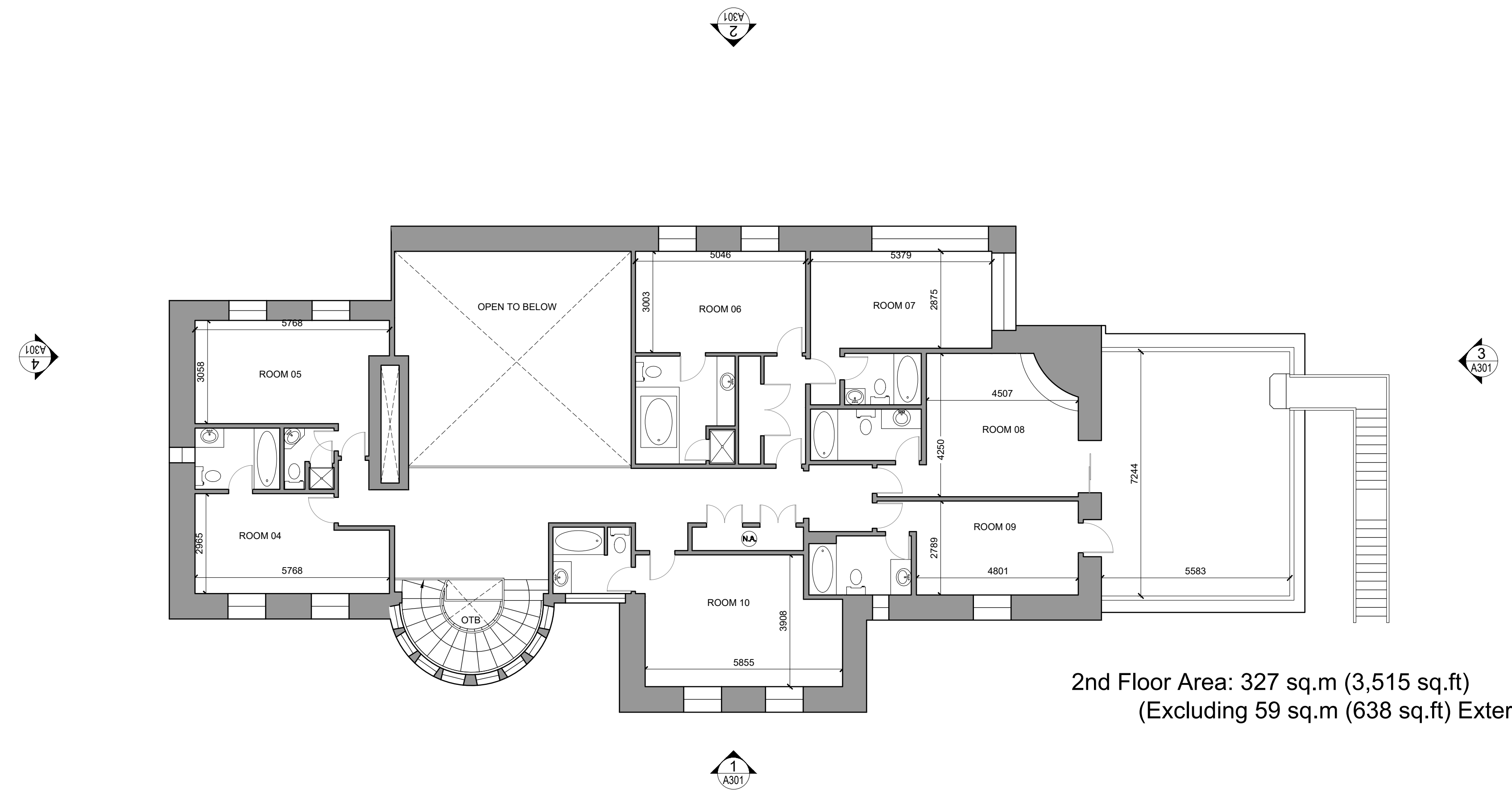
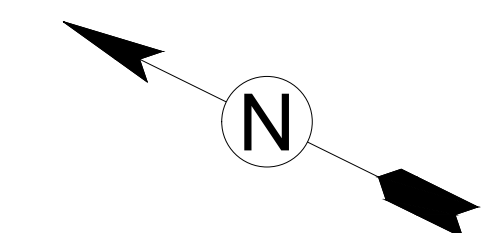
SHEET TITLE:
**Existing Building
Floor Plan**

PROJECT NO. 24009	
SCALE: 1:100	DATE: January 2025
DRAWN: SRM	SHEET NO:
CHECKED: SRM	A101
FILE NO. 24009	

GENERAL NOTES

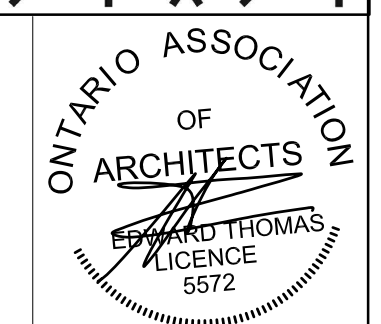
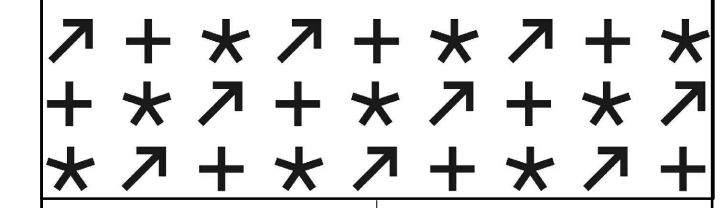
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LEGEND	
PREVIEW	NAME
	ELECTRICAL PANEL
	NO ACCESS
	OPEN TO BELOW
	CEILING HEIGHT
	SILL HEIGHT
	TYPICAL



2nd Floor Area: 327 sq.m (3,515 sq.ft)
(Excluding 59 sq.m (638 sq.ft) Exterior)

1 Second Floor
Scale: 1:100



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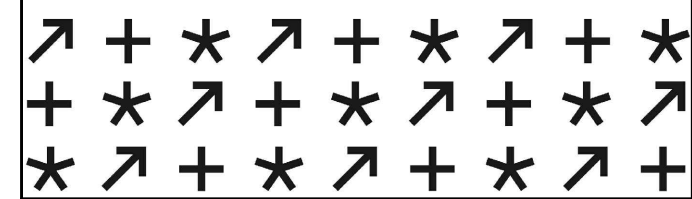
PROJECT:
**5483 Trafalgar Rd
Erin, ON.**

SHEET TITLE:
Existing Building Floor Plan

PROJECT NO. 24009	
SCALE: 1:100	DATE: January 2025
DRAWN: SRM	SHEET NO:
CHECKED: SRM	A102
FILE NO. 24009	

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LEGEND	
PREVIEW	NAME
	ELECTRICAL PANEL
	NO ACCESS
	OPEN TO BELOW
	CEILING HEIGHT
	SILL HEIGHT
	TYPICAL





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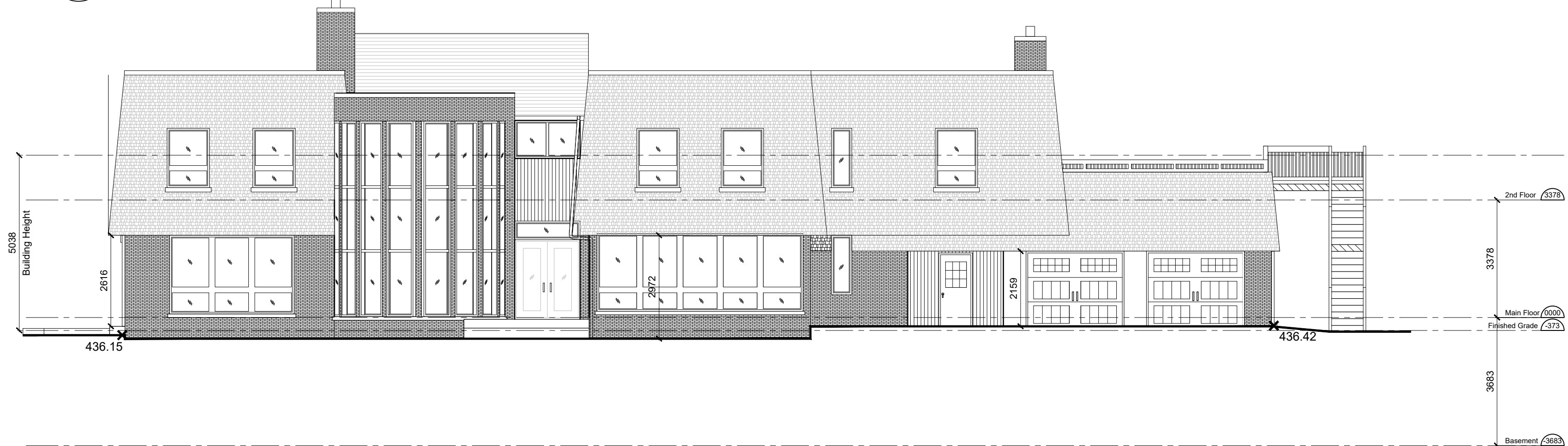
PROJECT:
**5483 Trafalgar Rd
Erin, ON.**

SHEET TITLE:
Existing Building Elevations

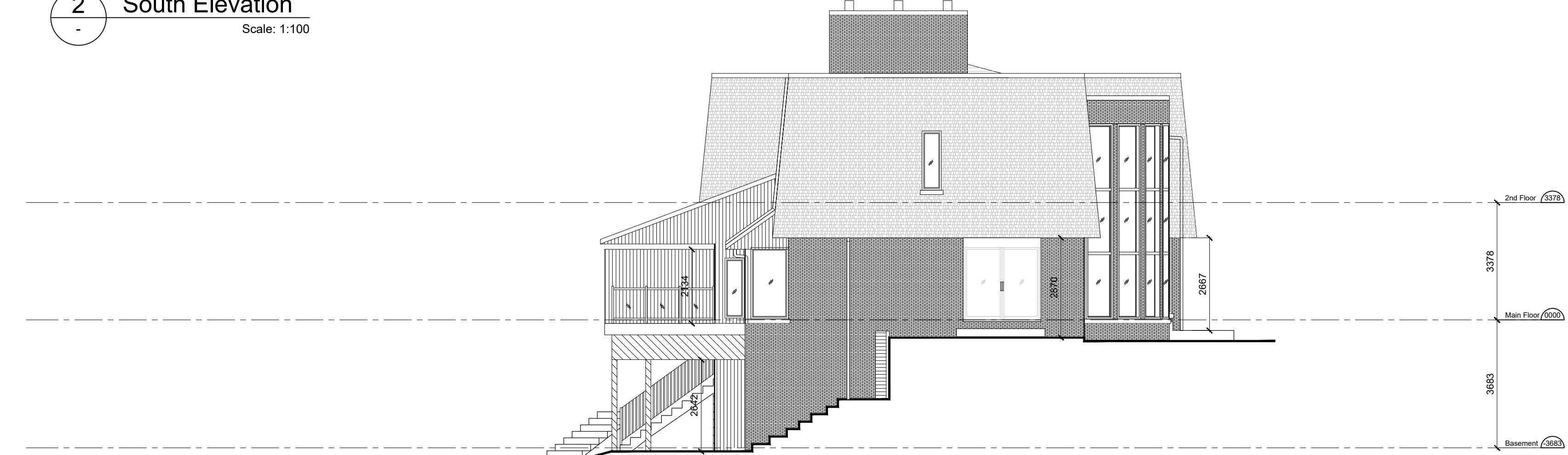
PROJECT NO. 24009	
SCALE: 1:100	DATE: January 2025
DRAWN: SRM	SHEET NO:
CHECKED: SRM	A301
FILE NO. 24009	



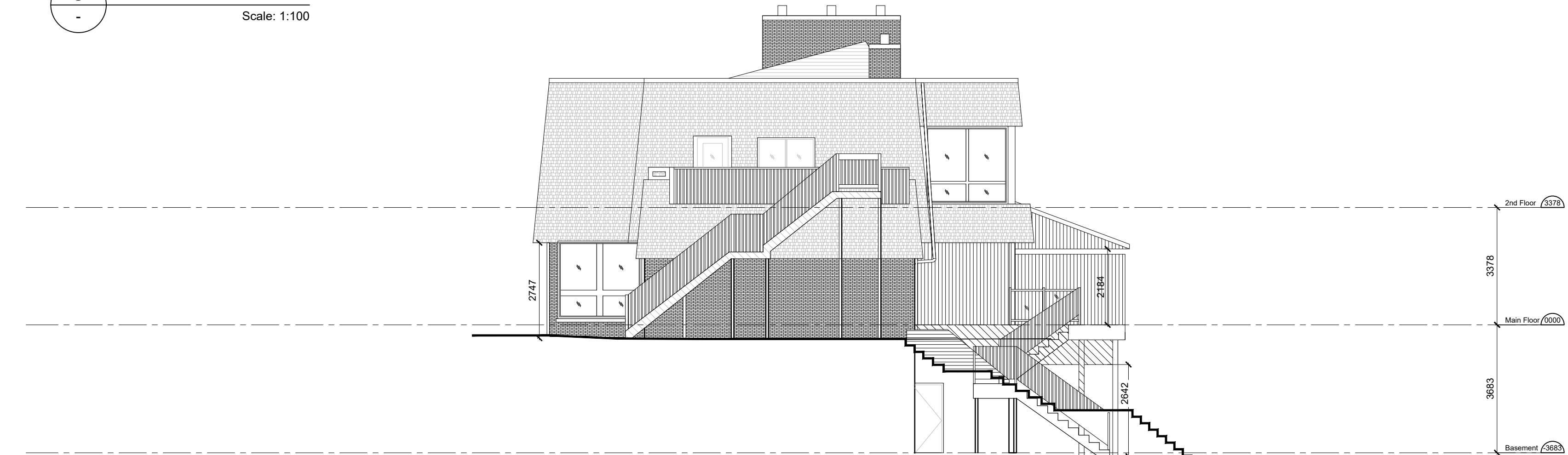
1 North Elevation
Scale: 1:100



2 South Elevation
Scale: 1:100



3 West Elevation
Scale: 1:100



4 East Elevation
Scale: 1:100

**TOWN OF ERIN COMPREHENSIVE ZONING BY-LAW 07-67
SECTION 2 - DEFINITIONS**

- BUILDING HEIGHT**
SHALL MEAN THE VERTICAL DISTANCE BETWEEN THE FINISHED GRADE OF THE CENTRE OF THE FRONT OF THE BUILDING, AND;
- 1 IN THE CASE OF A FLAT ROOF, THE HIGHEST POINT OF THE ROOF'S SURFACE OR PARAPET;
 - 2 IN THE CASE OF A MANSARD ROOF, THE DECK ROOF LINE;
 - 3 IN THE CASE OF A GABLE, HIP, OR GAMBREL ROOF, THE AVERAGE BUILDING HEIGHT BETWEEN THE EAVES AND THE RIDGE EXCLUSIVE OF ANY ACCESSORY ROOF CONSTRUCTION SUCH AS A CHIMNEY, TOWER OR STEEPLE; AND
 - 4 THE HIGHEST POINT OF A STRUCTURE WITHOUT A ROOF.

FINISHED GRADE
SHALL MEAN THE AVERAGE LEVEL OF PROPOSED OR FINISHED GROUND ADJOINING A BUILDING AT ALL EXTERIOR WALLS.

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