



FRONT VIEW



REAR VIEW-1



FRONT ELEVATION

9.17	REQUIRED FIRE RESISTANCE RATINGS	HORIZONTAL ASSEMBLY				FIRE RESISTANCE RATING (H)	SUPPORTING ASSEMBLY (H)	NONCOMBUSTIBLE IN LIEU OF RATING?	9.10.8. and 9.10.11.	
		FLOORS EXCEPT CRAWLSPACE								
		MEZZANINE								
		ROOF								
9.18	SPATIAL SEPARATION	WALL	EBF AREA (m <sup>2</sup> )	L.D. (m)	REQUIRED FRR (H)	% UPO PERMITTED / ACTUAL	CONSTRUCTION TYPE	CLADDING TYPE		
		NORTH ELEV.	217.0			52	-	-		
		SOUTH ELEV.	219.8			27	-	-		
		EAST ELEV.	106.6			6	-	-		
		WEST ELEV.	106.5			9	-	-		
9.19	PLUMBING FIXTURE REQUIREMENTS	RATIO:		MALE:FEMALE = 50:50 EXCEPT AS NOTED OTHERWISE					9.31. & 3.7.4.	
		FLOOR LEVEL / AREA	OCCUPANT LOAD	OBC SENTENCE	WATER CLOSETS REQUIRED/ PROVIDED	BARRIER-FREE WATER CLOSETS REQUIRED/ PROVIDED	UNIVERSAL WASHROOMS REQUIRED/ PROVIDED			
		FIRST FLOOR			1	/	/			
		SECOND FLOOR			5	/	/			
		BASEMENT			1	/	/			
9.20	ENERGY EFFICIENCY	RESIDENTIAL	COMPLIANCE OPTION:		SB-12 Prescriptive Compliance Packages				12.2.1.	
			PROJECT DESIGN CONDITIONS							
			CLIMATE ZONE		Zone 1 (< 5000 Degree Days)					
			DEGREE DAYS BELOW 18 C							SB-1 Table 2
			FENESTRATION	GROSS ABOVE GRADE WALL OR ROOF AREA (m <sup>2</sup> )		GROSS FENESTRATION AREA (m <sup>2</sup> )		FENESTRATION RATIO		
			VERTICAL (W+D)	650.0		94.4		<---- Input values.		
			SKYLIGHTS					<---- Input values.		
SPACE HEATING FUEL		Earth Energy								
HEATING EQUIPMENT EFFICIENCY		≥ 92% AFUE								
OTHER CONDITIONS		-								
COMPLIANCE PACKAGE		A1							SB-12 T3.1.1.2 A.C, SB-12 T3.1.1.3 A.C	
9.21	SOUND TRANSMISSION DESIGN	IS THERE MORE THAN 1 DWELLING UNIT IN THE BUILDING?:				NO		5.8.1.2, 5.8.1.4, & 9.11.1.4.		
		NOTES:								
		OPTION IMPLEMENTED:		-						
9.22	NOTES	IS AN ALTERNATIVE SOLUTION USED?		NO						


Ontario Building Code Data Matrix, Part 9  
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OAA - BUILDING CODE DATA MATRIX

Issued: 2023 12 08

PART 9 - HOUSING AND SMALL BUILDINGS

OBC REFERENCE <sup>[1]</sup>

Name of Practice		ECO-ARCH CONSULTANTS INC.					
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Address 2							
Contact		E-Mail: ecoarch@yahoo.com ; ecoarch@ecoarchinc.com , Ph: 647-982-7225 ; 416-566-8636					
Name of Project		PROPOSED DETACHED RESIDENTIAL DWELLING					
Location/Address		4910 TENTH LINE, TOWN OF ERIN - LOT 1 CONCESSION 10					
Date		JAN 25 2025		Seal & Signature			
9.00	BUILDING CODE VERSION	O.Reg. 332/12	LAST CODE AMENDMENT		O.Reg. 89/23		
9.01	PROJECT TYPE	Addition			[A] 1.1.2.4.		
9.02	OCCUPANCY CLASSIFICATION	OCCUPANCY		USE	9.10.2.		
		C	Residential				
		-	-				
		-	-				
9.03	SUPERIMPOSED MAJOR OCCUPANCIES	NO			9.10.2.3.		
9.04	BUILDING AREA (m²)	DESCRIPTION	EXISTING	NEW	TOTAL [A] 1.4.1.2.		
		PROPOSED RESIDENTIAL UNIT		2,863.87 SQ.FT.	-		
					-		
					-		
		TOTAL	-	-	-		
9.05	GROSS AREA (m²)	DESCRIPTION	EXISTING	NEW	TOTAL [A] 1.4.1.2.		
		PROPOSED RESIDENTIAL UNIT		6,945.25 SQ.FT.	-		
					-		
					-		
		TOTAL	-	-	-		
9.06	MEZZANINE AREA (m²)	DESCRIPTION	EXISTING	NEW	TOTAL 9.10.4.1.		
		NOT APPLICABLE			-		
					-		
		TOTAL	-	-	-		
9.07	BUILDING HEIGHT	2	STOREYS ABOVE GRADE	10.41 (m) ABOVE GRADE	[A] 1.4.1.2. & 9.10.4.		
		1	STOREYS BELOW GRADE				
9.08	NUMBER OF STREETS/ FIRE FIGHTER ACCESS	1 STREET(S)			9.10.20.		
9.09	SPRINKLER SYSTEM	Not Required	PROVIDED: -		9.10.8.2.4., and 3.2.4.8.(4)		
		DESCRIBE					
9.10	FIRE ALARM SYSTEM	Not Required	TYPE PROVIDED -		9.10.18.		
9.11	WATER SERVICE/ SUPPLY IS ADEQUATE	Yes	THE WELL IS PROPOSED.		9.31.3.		
9.12	CONSTRUCTION TYPE	RESTRICTIONS	Combustible Permitted		9.10.6., 3.1.5., and 3.1.4.7.		
		ACTUAL	Comb. & Noncomb. in Combination				
		HEAVY TIMBER CONSTRUCTION -					
9.13	POST-DISASTER BUILDING	NO			[A] 1.1.2.2.(2) and Part 4		
9.14	OCCUPANT LOAD	FLOOR LEVEL/AREA	OCCUPANCY TYPE	OCCUPANT LOAD (PERSONS)	BASED ON	POSTED LIMIT REQUIRED	9.9.1.3; Table 3.1.17.1.
		RESIDENTIAL UNIT	C	4	No. of sleeping rooms	No	
						-	
						-	
		TOTAL			4		
9.15	BARRIER-FREE DESIGN	No	[provide explanation here]			9.5.2. and 3.8	
9.16	HAZARDOUS SUBSTANCES	No				9.10.1.3.	

General Notes

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- CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING.
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- DRAWINGS ARE NOT TO BE SCALED.

LEGENDS:-

REVISION

NO.	DATE	DESCRIPTION	BY

1	2025-01-25	For Re-Zoning Application	VS
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ARCHITECTS:  
**ECO-ARCH CONSULTANTS INC.**  
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ecoarch@yahoo.com  
Mobile: 647-982-7225  
Office: 416-566-8636



PROJECT TITLE:

PROPOSED 2-STOREY SINGLE FAMILY DWELLING

PROJECT ADDRESS:

LOT 1, CONCESSION 10,  
TOWNSHIP OF ERIN

SHEET TITLE:

COVER SHEET

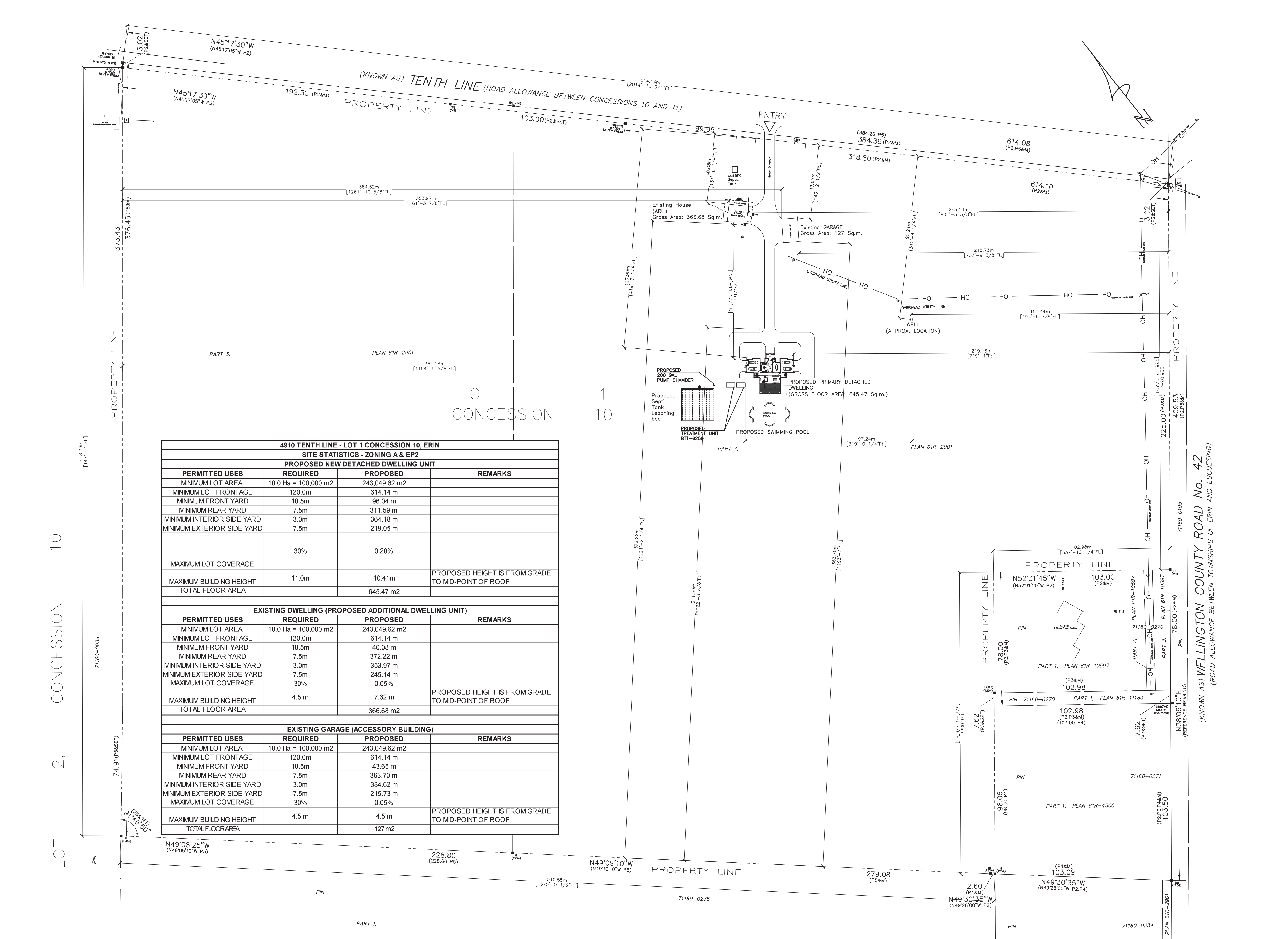
SCALE:  
NTS  
PLOT DATE:  
March 19,2025  
DRAWN BY:  
VS  
CHECKED BY:  
HS / VS

DRAWING NO.:  
**A1**  
PROJECT NO.:  
202404

LOT 1, CONCESSION 10 - NEW HOUSE

4910 TENTH LINE  
TOWNSHIP OF ERIN ON  
NOB 1TO





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OF  
ARCHITECTS  
*Vishu Sood*  
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LICENCE  
10350

STRUCTURAL CONSULTANT:

MEM ENGINEERING INC

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416-558-6755  
Email: harry@memengineering.ca

PROJECT TITLE:

PROPOSED 2-STOREY SINGLE  
FAMILY DWELLING

PROJECT ADDRESS:

LOT 1, CONCESSION 10,  
TOWNSHIP OF ERIN

SHEET TITLE:

SITE PLAN

SCALE:  
1:1000

PLOT DATE:  
March 19, 2025

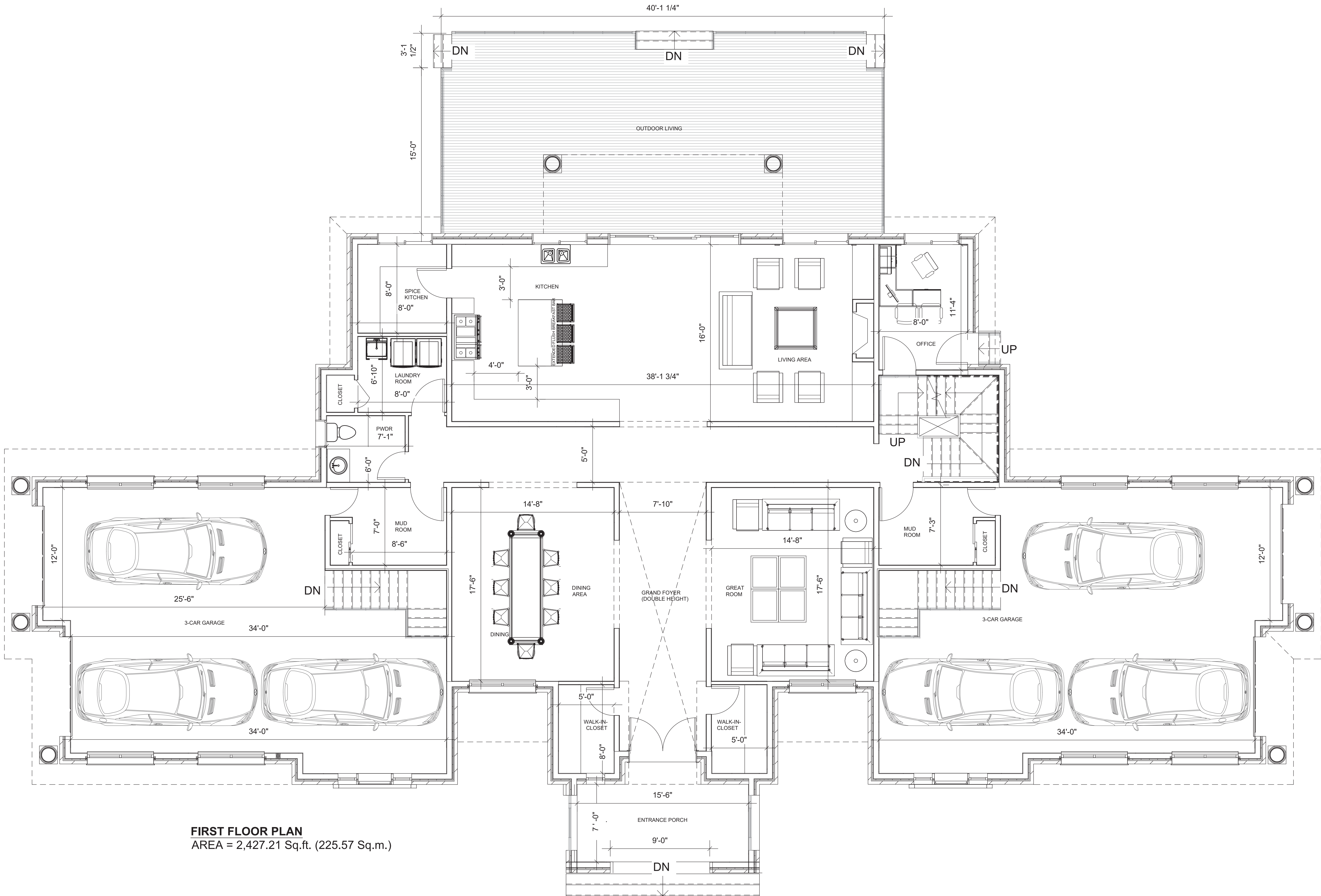
DRAWN BY:  
VS

CHECKED BY:  
HS / VS

DRAWING NO.:

A2





**FIRST FLOOR PLAN**  
AREA = 2,427.21 Sq.ft. (225.57 Sq.m.)

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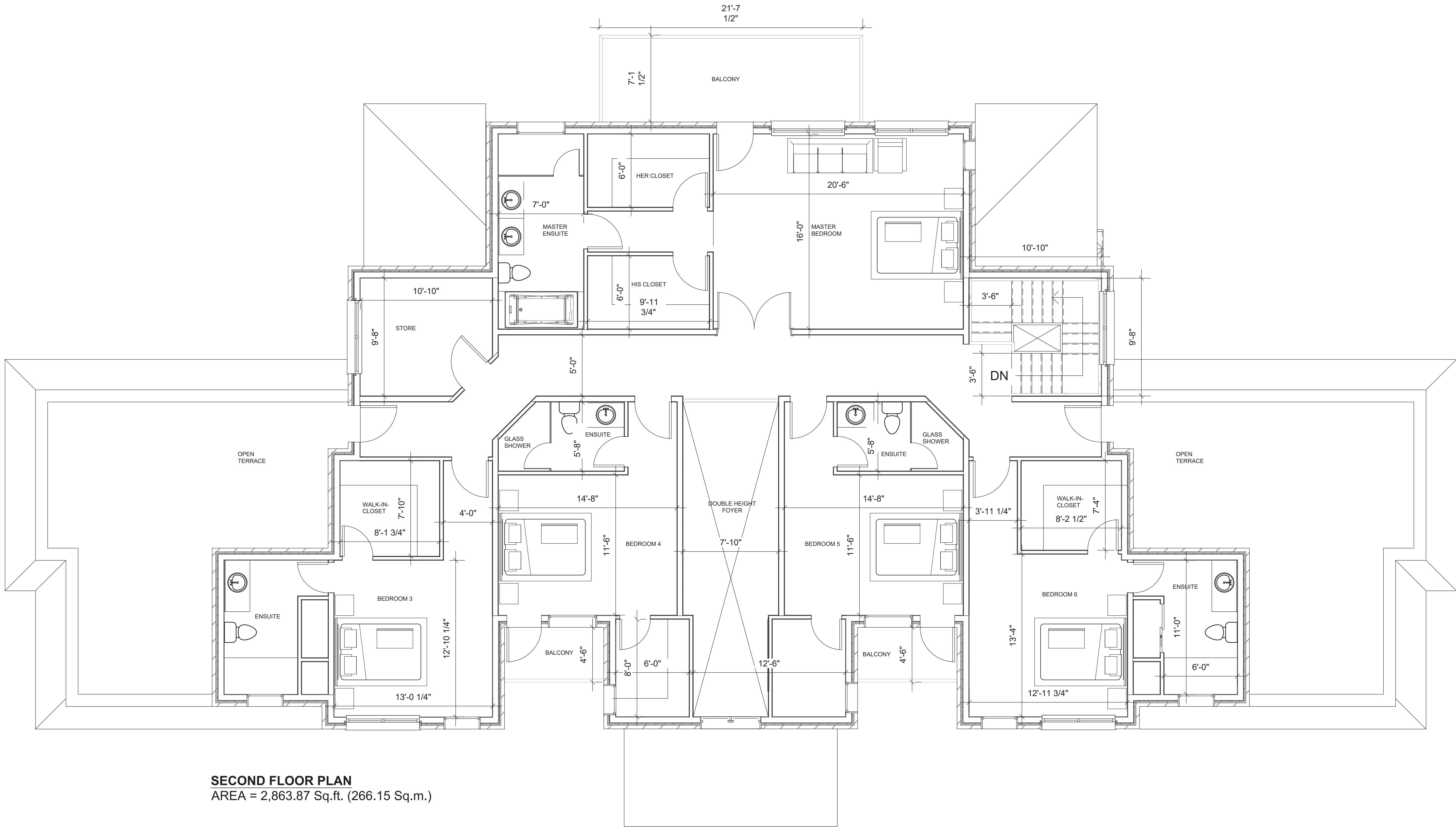


PROJECT TITLE:  
**PROPOSED 2-STOREY SINGLE  
FAMILY DWELLING**

PROJECT ADDRESS:  
**LOT 1, CONCESSION 10,  
TOWNSHIP OF ERIN**

SHEET TITLE:  
**FIRST FLOOR PLAN**

SCALE: NTS	DRAWING NO.: <b>A3</b>
PLOT DATE: Jan.25,2025	
DRAWN BY: VS	PROJECT NO.: 202404
CHECKED BY: HS / VS	



**SECOND FLOOR PLAN**  
AREA = 2,863.87 Sq.ft. (266.15 Sq.m.)

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LEGENDS:-

REVISION			
NO.	DATE	DESCRIPTION	BY

1 2025-01-25 For Re-Zoning Application VS

ARCHITECTS:  
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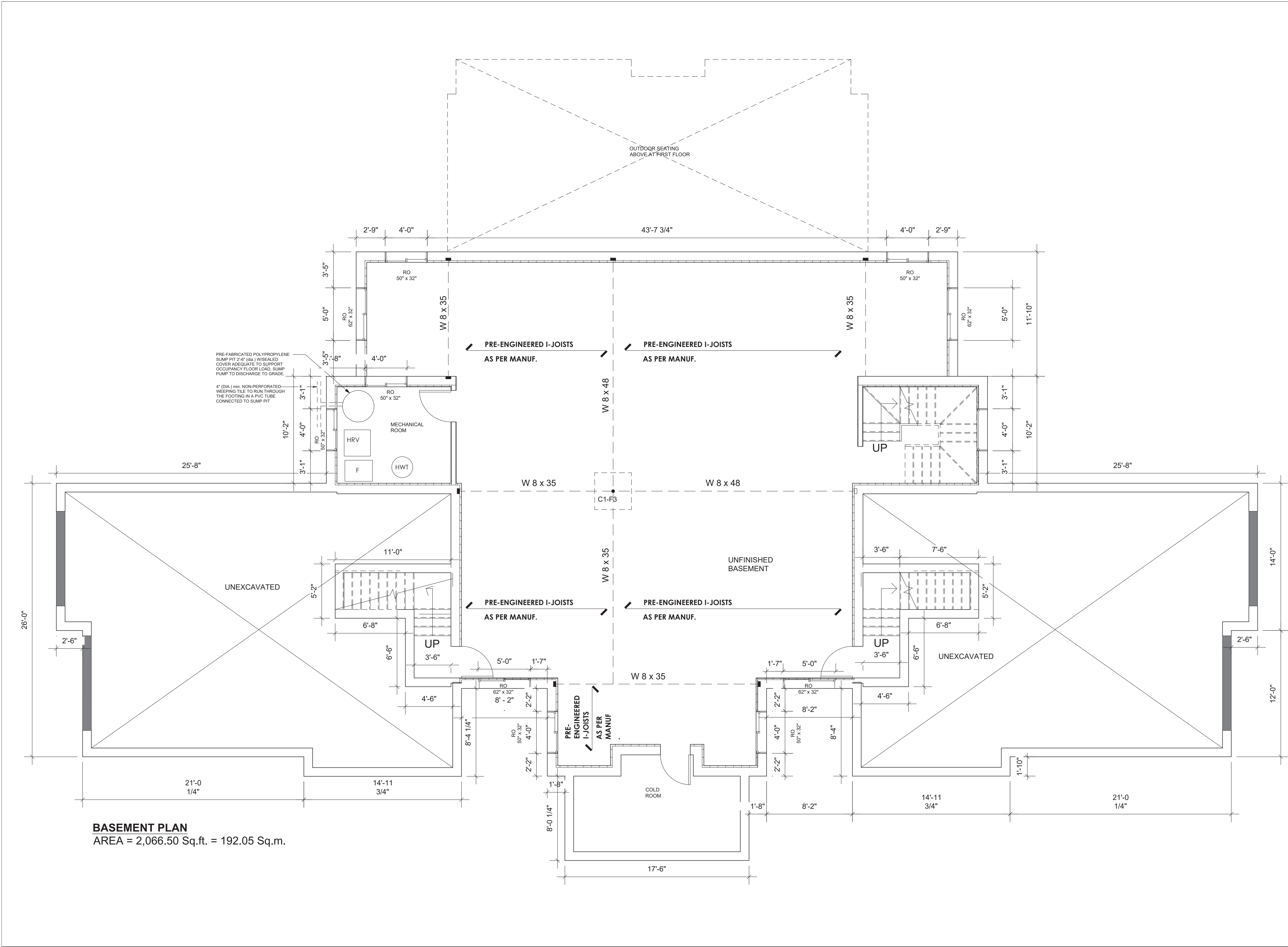
PROJECT TITLE:  
**PROPOSED 2-STOREY SINGLE  
FAMILY DWELLING**

PROJECT ADDRESS:  
  
**LOT 1, CONCESSION 10,  
TOWNSHIP OF ERIN**

SHEET TITLE:  
**SECOND FLOOR PLAN**

SCALE: NTS	DRAWING NO.: <b>A4</b>
PLOT DATE: Jan.25,2025	
DRAWN BY: VS	PROJECT NO.: 202404
CHECKED BY: HS / VS	





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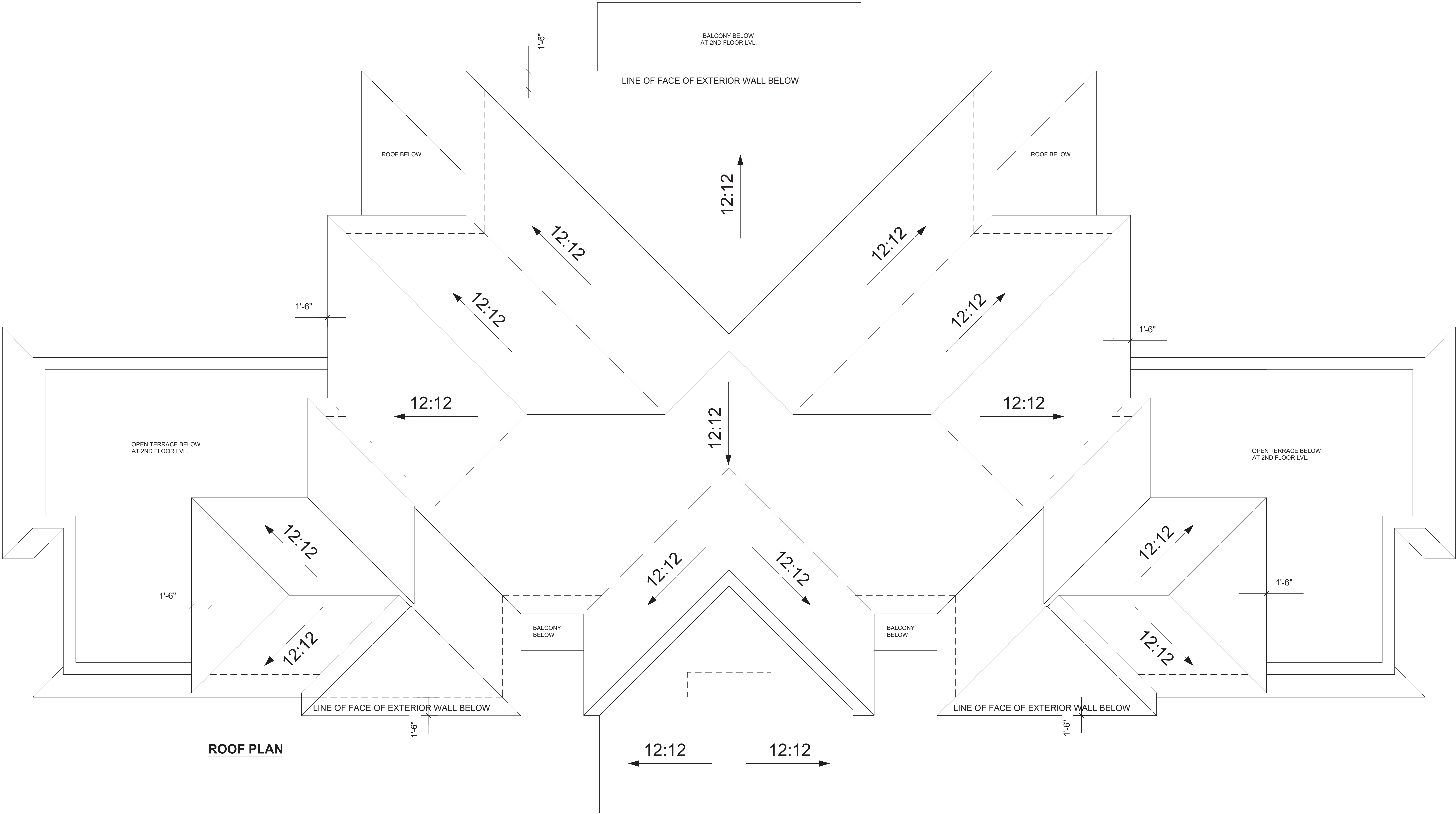
ONTARIO ASSOCIATION  
OF  
ARCHITECTS  
*Vishu Sood*  
VISHU SOOD  
LICENCE  
10950

PROJECT TITLE:  
  
PROPOSED 2-STOREY SINGLE  
FAMILY DWELLING

PROJECT ADDRESS:  
  
LOT 1, CONCESSION 10,  
TOWNSHIP OF ERIN

SHEET TITLE:  
  
BASEMENT PLAN

SCALE: 1/4" = 1'-0"	DRAWING NO.:  A5
PLOT DATE: Jan.25,2025	
DRAWN BY: VS	PROJECT NO.:  202404
CHECKED BY: HS / VS	



ROOF PLAN

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LEGENDS:-

REVISION			
NO.	DATE	DESCRIPTION	BY

1 | 2025-01-25 | For Re-Zoning Application | VS

ARCHITECTS:  
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PROJECT TITLE:  
**PROPOSED 2-STOREY SINGLE  
FAMILY DWELLING**

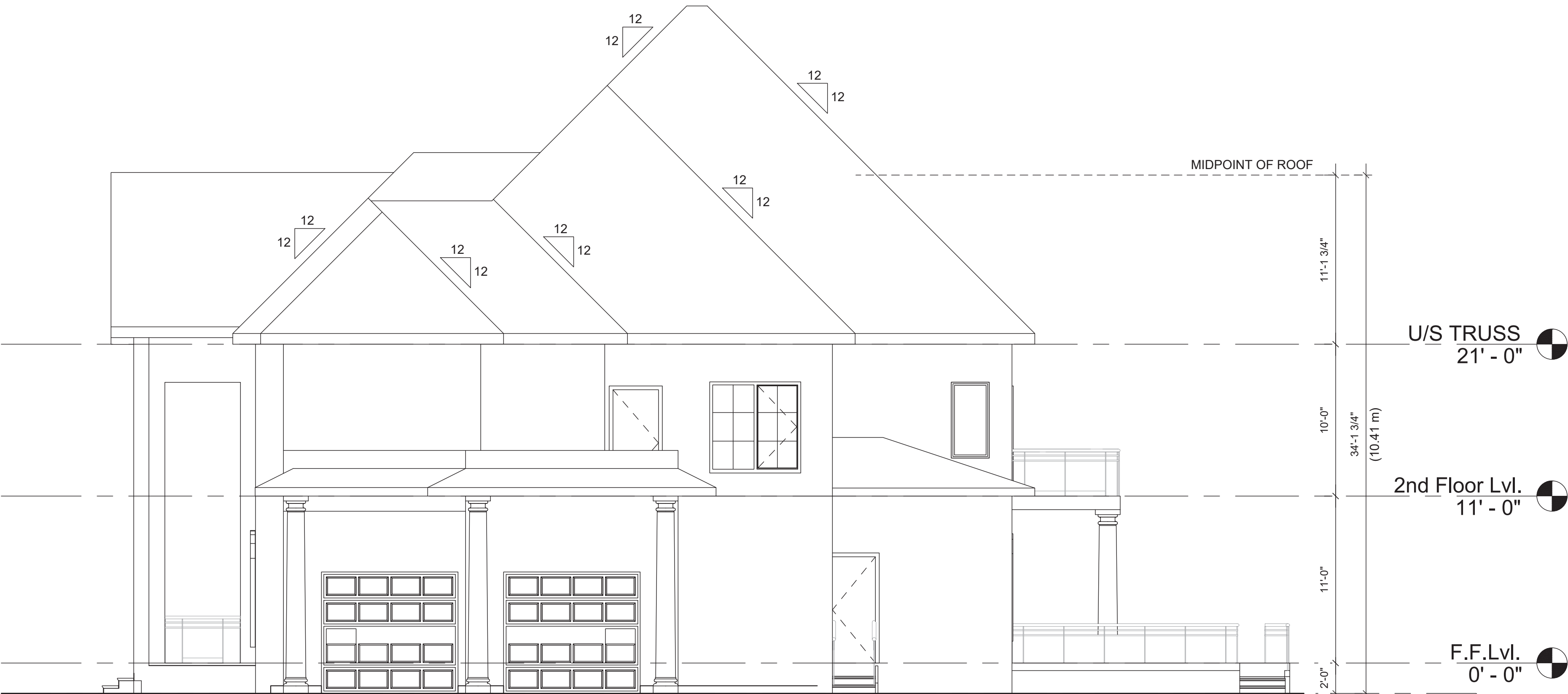
PROJECT ADDRESS:  
**LOT 1, CONCESSION 10,  
TOWNSHIP OF ERIN**

SHEET TITLE:  
**ROOF FLOOR PLAN**

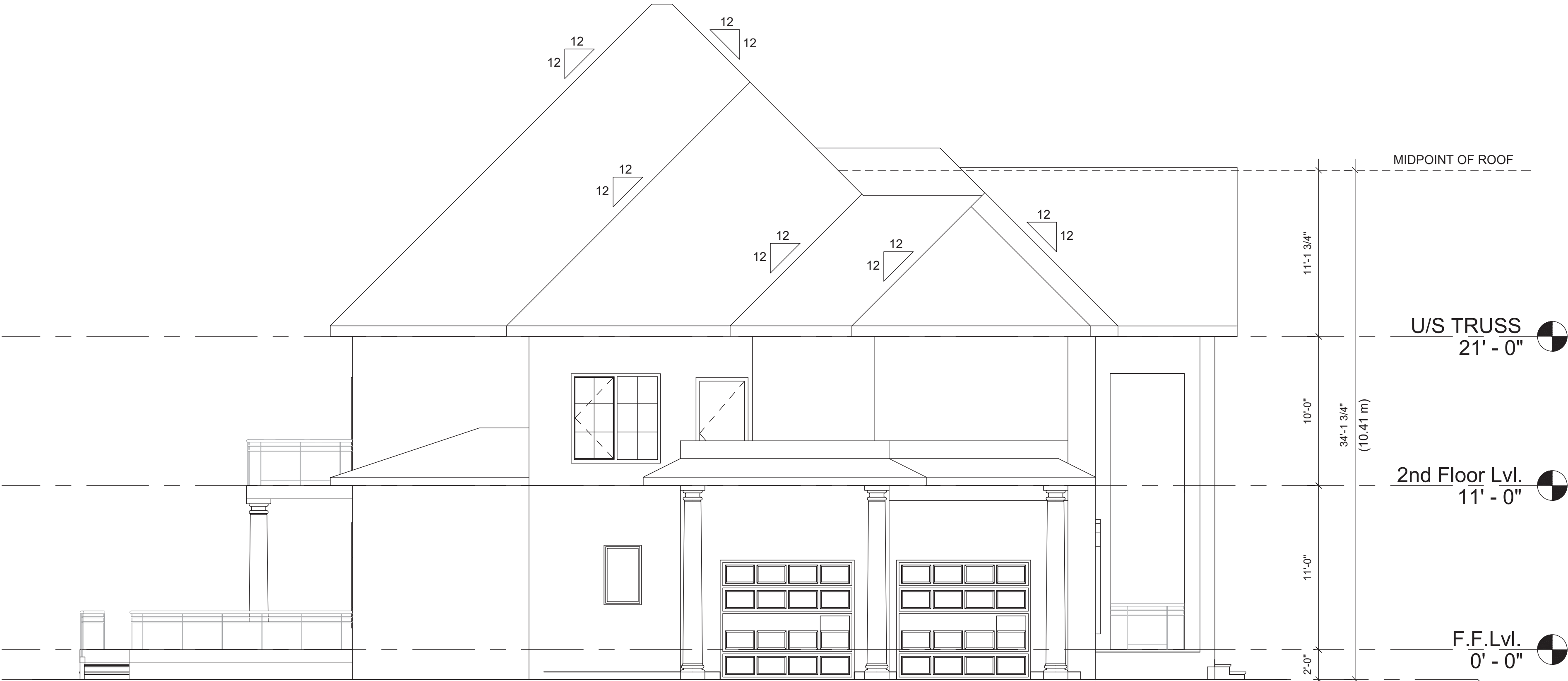
SCALE: $\frac{1}{4}" = 1'-0"$	DRAWING NO.: <b>A6</b>
PLOT DATE: Jan.25,2025	
DRAWN BY: VS	PROJECT NO.: 202404
CHECKED BY: HS / VS	







SIDE ELEVATION-1 (WEST)  
EXPOSED BUILDING FACE: 1146.30 Sq.ft. = 106.53 Sq.m.  
AREA OF UNPROTECTED OPENINGS: 94 Sq.ft. = 8.73 Sq.m.



SIDE ELEVATION-2 (EAST)  
EXPOSED BUILDING FACE:1146.78 Sq.ft. = 106.58 Sq.m.  
AREA OF UNPROTECTED OPENINGS: 68.75 Sq.ft. = 6.39 Sq.m.

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PROJECT TITLE:  
**PROPOSED 2-STOREY SINGLE FAMILY DWELLING**

PROJECT ADDRESS:  
**LOT 1, CONCESSION 10,  
TOWNSHIP OF ERIN**

SHEET TITLE:  
**SIDE ELEVATIONS ELEVATIONS**

SCALE: 3/16" = 1'-0"	DRAWING NO.: <b>A8</b>
PLOT DATE: Jan.25,2025	PROJECT NO.: 202404
DRAWN BY: VS	
CHECKED BY: HS / VS	