

FRONT VIEW

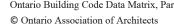


REAR VIEW-1



FRONT ELEVATION

9.17	REQUIRED FIRE RESISTANCE RATINGS		HORIZONTAL ASSEMBLY			FIRE RESISTANCE RATING (H)	SUPPORTING ASSEMBLY (H)	NONCOMBUSTIBLE IN LIEU OF RATING?	9.10.8. and 9.10.11.		
			FLOORS EXCEP	T CRAWL	SPACE				-		
			MEZZANINE						-		
			ROOF						-		
9.18	SPATIAL SEPAR	RATION	WALL	EBF AREA (m ²)	L.D. (m)	REQUIRED FRR (H)	% UPO PERMITTED / ACTUAL	CONSTRUCTION TYPE	CLADDING TYPE		
			NORTH ELEV.	217.0			52	-	-		
			SOUTH ELEV.	219.8			27	-	-		
			EAST ELEV.	106.6			6	-	=		
			WEST ELEV.	106.5			9	-	-		
9.19	PLUMBING FIXT REQUIREMENT		RATIO:	MALE:FE	EMALE = 50:50	EXCEPT AS	NOTED OTHER	WISE		9.31. & 3.7.4.	
					OCCUPANT LOAD		WATER CLOSETS REQUIRED/ PROVIDED	BARRIER-FREE WATER CLOSETS REQUIRED/ PROVIDED	UNIVERSAL WASHROOMS REQUIRED/ PROVIDED	-	
			FIRST FLOOR				1	/	1		
			SECOND FLOOP	ł			5	1	1		
			BASEMENT				1	1	1		
9.20	ENERGY EFFICIENCY		COMPLIANCE OPTION: SB-12 Prescriptive Compliance Packages			ages	12.2.1.				
			PROJECT DESIGN CONDITIONS								
				CLIMATE ZONE			Zone 1 (< 5000) Degree Days)		-	
			DEGREE DAY	YS BELOW	/ 18 C					SB-1 Table 2	
			FENESTRATI	ION		GROSS ABC WALL OR RO	OVE GRADE DOF AREA (m²)	GROSS FENESTRATION AREA (m²)	FENESTRATION RATIO		
			VERTICAL (V	V+D)			650.0	94.4	< Input values.		
			SKYLIGHTS						< Input values.		
			SPACE HEAT	ING FUEL				Earth Energy			
			HEATING EQ	UIPMENT	EFFICIENCY			≥ 92% AFUE			
			OTHER CONDITIONS			-					
			COMPLIANCE P	ACKAGE				A1		SB-12 T3.1.1.2.A- SB-12 T3.1.1.3.A-	
9.21	SOUND TRANSI	VISSION DESIGN	IS THERE MORE	THAN 1 C	WELLING UN		LDING?:	NO		5.8.1.2., 5.8.1.4	
			NOTES:							& 9.11.1.4.	
			OPTION IMPLEM	IENTED:	-						
9.22	NOTES		IS AN ALTERNA	TIVE SOLU	JTION USED?	NO					
			1	ALL REFE		O DIVISION B O	F THE OBC UNLE	SS PRECEDED BY [A] F	OR DIVISION A AND [C]	-	



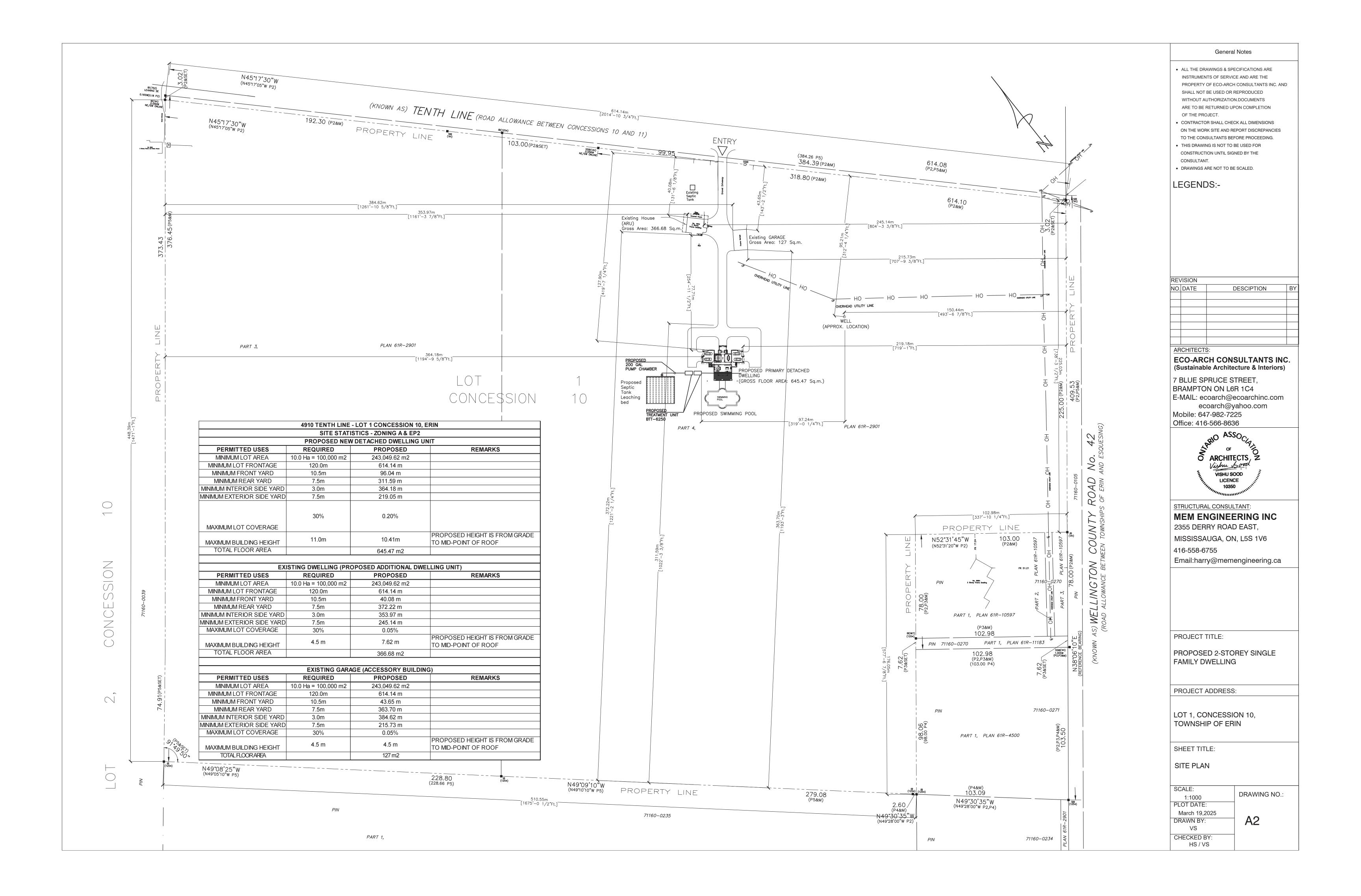
			MALL BUILDI	
	Name of Practice	ECO-ARCH CO	NSULTANTS INC.	
	Address 1	7 BLUE SPRUC	E STREET, BRAMP	TON O
	Address 2			
	Contact	E-Mail: ecoarch@	@yahoo.com ; ecoard	ch@ec
	Name of Project	PROPOSED DE	TACHED RESIDEN	FIAL D
	Location/Address	4910 TENTH LIN	NE, TOWN OF ERIN	- LOT
	Date	JAN.25,2025		
9.00	BUILDING CODE	VERSION	O.Reg. 332/12	
9.01	PROJECT TYPE		Addition	
9.02	OCCUPANCY CL	ASSIFICATION	OCCUPANCY	
			С	Resid
			- 1	-
			-	-
9.03	SUPERIMPOSED OCCUPANCIES	MAJOR	NO	
9.04	BUILDING AREA	(m²)	DESCRIPTION	
			PROPOSED RES	IDENT
			TOTAL	
9.05	GROSS AREA (m	²)	DESCRIPTION	
			PROPOSED RES	IDENT
			TOTAL	
9.06	MEZZANINE ARE	A (m²)	DESCRIPTION	
			NOT APPLICABL	E
			TOTAL	
9.07	BUILDING HEIGH	т	2	STOF
			1	STOF
9.08	NUMBER OF STREE		1	STRE
			Not Deguined	
9.09	SPRINKLER SYS	TEM	Not Required	
9.09	SPRINKLER SYS	TEM	DESCRIBE	
9.09 9.10	SPRINKLER SYS			
		STEM	DESCRIBE	
9.10	FIRE ALARM SYS WATER SERVICE SUPPLY IS ADEC	STEM E/ QUATE	DESCRIBE	
9.10 9.11	FIRE ALARM SYS WATER SERVICE SUPPLY IS ADEC	STEM E/ QUATE	DESCRIBE	Comb
9.10 9.11	FIRE ALARM SYS WATER SERVICE SUPPLY IS ADEC	STEM E/ QUATE	DESCRIBE Not Required Yes	Comb
9.10 9.11 9.12	FIRE ALARM SYS WATER SERVICE SUPPLY IS ADEC	STEM	DESCRIBE Not Required Yes RESTRICTIONS	
9.10 9.11 9.12 9.13	FIRE ALARM SYS WATER SERVICE SUPPLY IS ADEC CONSTRUCTION	STEM	DESCRIBE Not Required Yes RESTRICTIONS ACTUAL	
9.10 9.11 9.12 9.13	FIRE ALARM SYS WATER SERVICE SUPPLY IS ADEC CONSTRUCTION	STEM	DESCRIBE DESCRIBE Not Required Yes RESTRICTIONS ACTUAL NO FLOOR	Comb
9.10 9.11 9.12 9.13	FIRE ALARM SYS WATER SERVICE SUPPLY IS ADEC CONSTRUCTION	STEM	DESCRIBE Not Required Yes RESTRICTIONS ACTUAL NO FLOOR LEVEL/AREA	Comb
9.10 9.11 9.12 9.13	FIRE ALARM SYS WATER SERVICE SUPPLY IS ADEC CONSTRUCTION	STEM	DESCRIBE Not Required Yes RESTRICTIONS ACTUAL NO FLOOR LEVEL/AREA	Comb

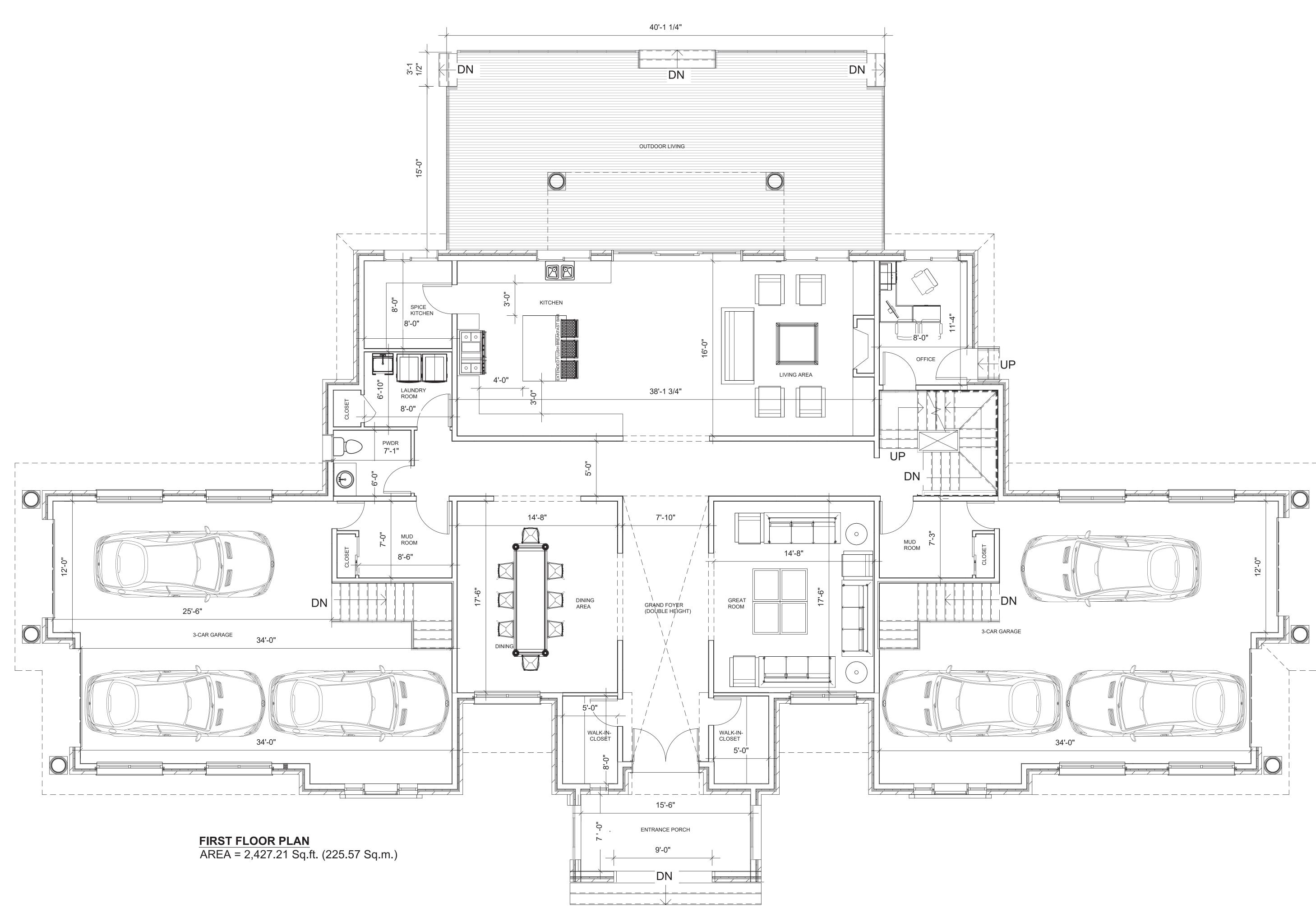
LOT 1, CONCESSIO

						C	General	Notes	
			C	BC REFERENCE ^[1]				ECIFICATIONS ARE CE AND ARE THE	
		-	ASSO					I CONSULTANTS INC. A	ND
6R 1C4			ARIO ASSOCIA					REPRODUCED N.DOCUMENTS	
		į	ARCHITECTS, 2	2		O BE RETU E PROJECT		PON COMPLETION	
hinc.com , Ph: 647-982-7225	416-566-8636		Vishe Sood	2				CK ALL DIMENSIONS	
	, 110 000 0000		VISHU SOOD LICENCE 10350					EPORT DISCREPANCIES	i
LING			**************************************					FORE PROCEEDING. BE USED FOR	
DNCESSION 10							INTIL SIGI	NED BY THE	
		Seal & Signature				JLTANT. NGS ARE N	ОТ ТО ВЕ	SCALED.	
LAST CODE	AMENDMENT	O.Reg. 89/23							
				[A] 1.1.2.4.	LEGE	INDS:	-		
		USE		9.10.2.					
				_					
				_					
				9.10.2.3.					
				*					
	EXISTING	N	IEW TOTA	L [A] 1.4.1.2.					
UNIT		2,863.87 SQ	.FT	_	REVISION			DESCIPTION	BY
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UNIT	EXISTING			L [A] 1.4.1.2.	4 0005	04.05		-7 . A	
		6,945.25 SQ	-	_	ARCHIT		-or Re-2	Zoning Application	VS
								SULTANTS IN	
	-			=				cture & Interiors	5)
	EXISTING	N	IEW TOTA	L 9.10.4.1.	BRAMF			TREET, R 1C4	
			-	_		.: ecoar	rch@e	ecoarchinc.con	n
				_	Mobile		-	ahoo.com	
	-			=		416-56			
S ABOVE GRADE		10	0.41 (m) ABOVE GRADE	[A] 1.4.1.2. & 9.10.4.		010	ASS	SO _{C/}	
S BELOW GRADE						NARIC AF	OF	SO _{C/A/I}	
S)				9.10.20.		O AF	CHIT	ECTS Z	
PROVIDED:	_			9.10.8.24., and			VISHU S	OOD	
				3.2.4.8.(4)		TANNA .	LICEN 1035	OOD CE 0	
ТҮ	PE PROVIDED	-		9.10.18.		*****		mmmn	
	THE WELL IS F	PROPOSED.		9.31.3.					
ole Permitted				9.10.6., 3.1.5., and 3.1.4.7.					
Noncomb. in Combination	HEAVY TIME	BER CONSTRUCT	ION <mark>-</mark>						
				[A] 1.1.2.2.(2) and Part 4					
	OCCUPANT		POSTED LIMIT	9.9.1.3; Table					
OCCUPANCY TYPE	LOAD (PERSONS)	BASED ON	REQUIRED	3.1.17.1.					
C	4	No. of sleeping ro	oms No)					
	4			_					
[provide explanation here]				9.5.2. and 3.8	PROJE	CT TITL	F·		
				9.10.1.3.					
						DSED 2 Y DWEI			
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NOB	1 T∩								
	ΠŪ				SCALE:			DRAWING NO	.:
					PLOT D	ATE:		A1	
					March DRAWN	19,2025 BY:			
					V			PROJECT NO.	:

202404

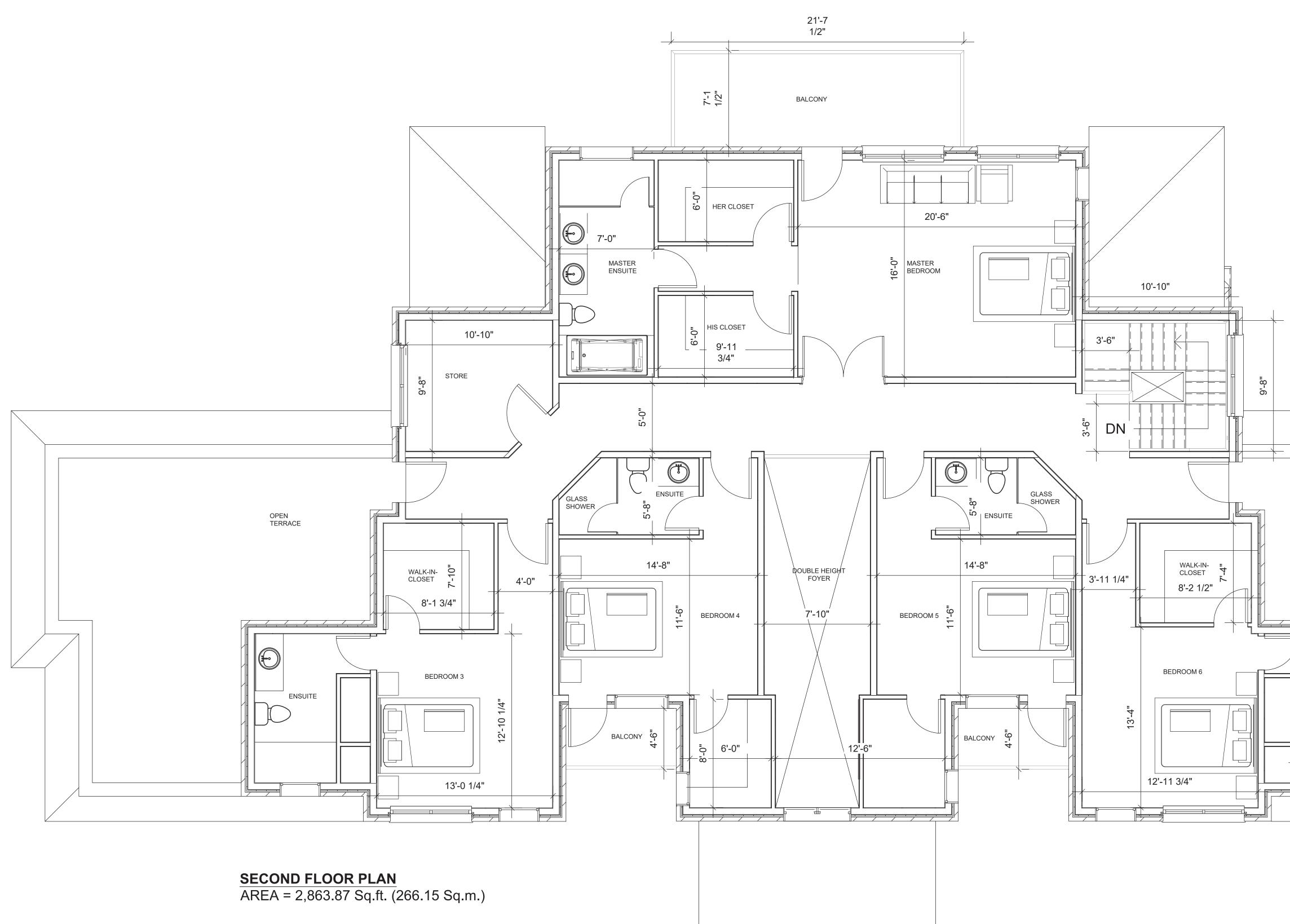
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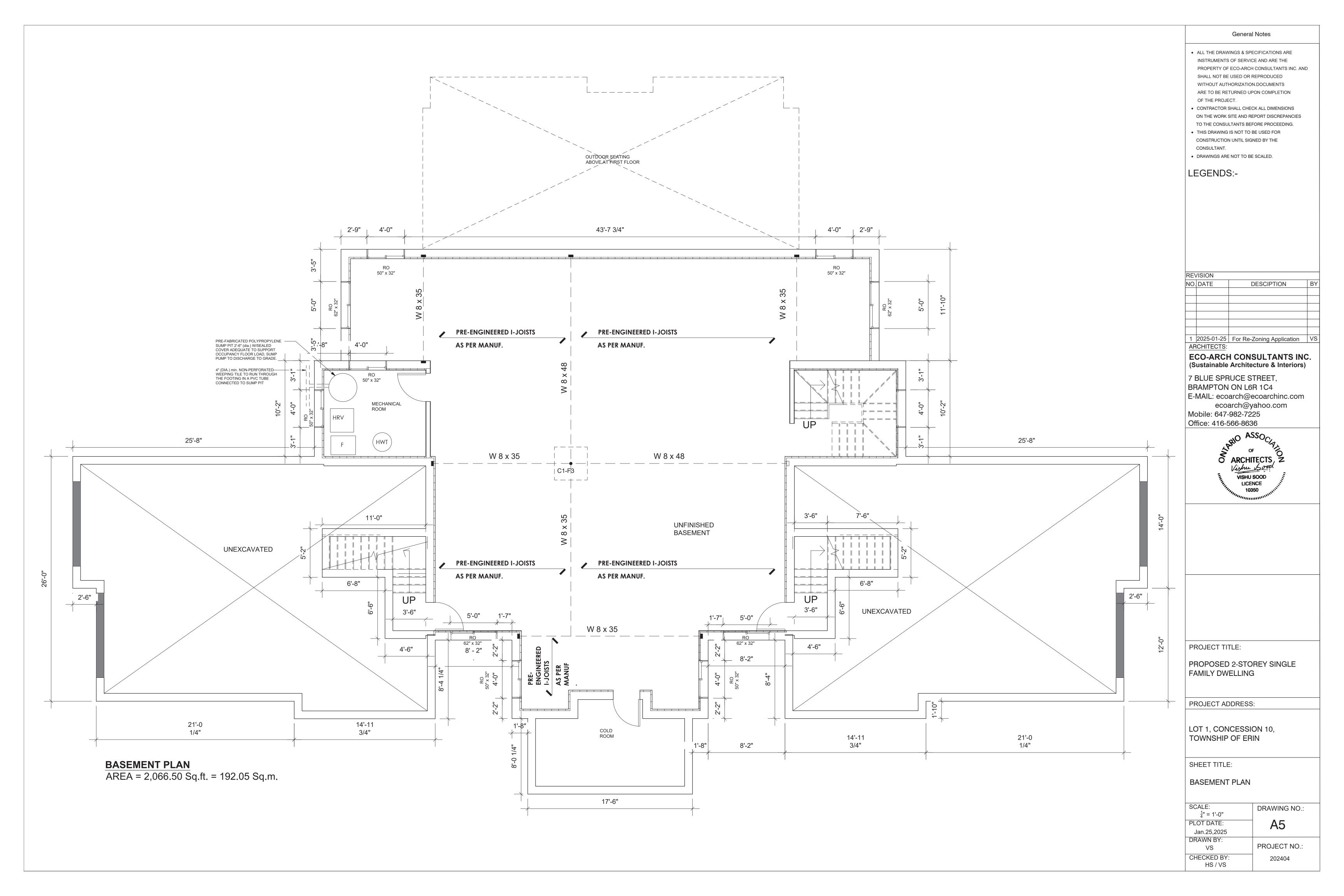


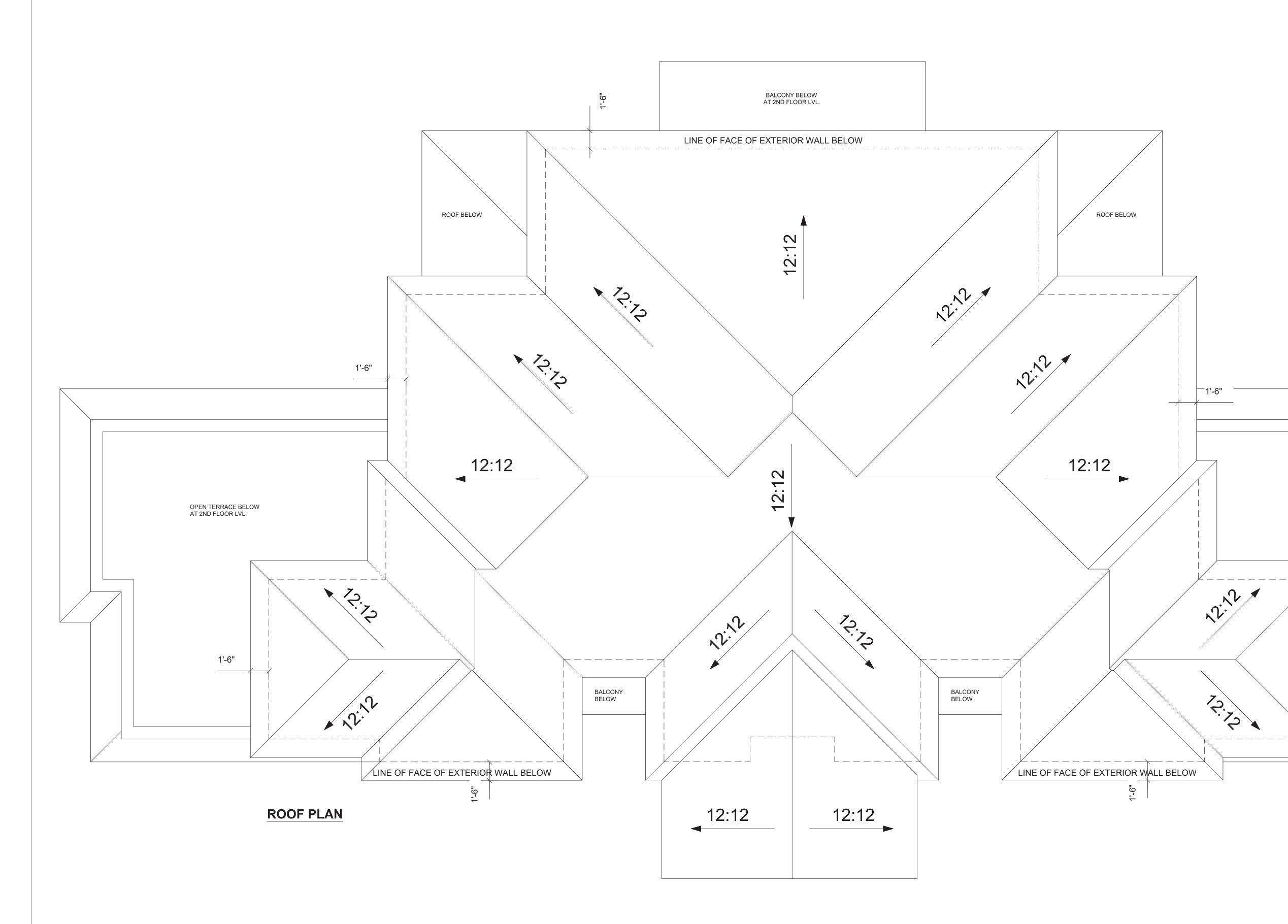
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PROJECT A	DDRESS	:	
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SHEET TITL		Ν	
SCALE: NTS PLOT DATE:		DRAWING NO.:	
Jan.25,2025 DRAWN BY: VS CHECKED BY HS / VS	/:	PROJECT NO.: 202404	

General Notes



	Genera	al Notes
	 ALL THE DRAWINGS & SF INSTRUMENTS OF SERV PROPERTY OF ECO-ARC SHALL NOT BE USED OR WITHOUT AUTHORIZATIO ARE TO BE RETURNED U OF THE PROJECT. CONTRACTOR SHALL CHE ON THE WORK SITE AND F TO THE CONSULTANTS BE THIS DRAWING IS NOT TO CONSTRUCTION UNTIL SIG CONSULTANT. DRAWINGS ARE NOT TO E 	CE AND ARE THE H CONSULTANTS INC. AND REPRODUCED ON.DOCUMENTS PON COMPLETION CK ALL DIMENSIONS REPORT DISCREPANCIES FORE PROCEEDING. BE USED FOR GNED BY THE
	REVISION NO. DATE	DESCIPTION BY
	1 2025-01-25 For Re ARCHITECTS: ECO-ARCH CON (Sustainable Archited)	SULTANTS INC.
	7 BLUE SPRUCE S BRAMPTON ON LO E-MAIL: ecoarch@ ecoarch@ Mobile: 647-982-72	STREET, SR 1C4 ecoarchinc.com yahoo.com 225
OPEN TERRACE	Office: 416-566-86 ARCH Vishu Lice	SSO _{C/A} # ITECTS Z
	PROJECT TITLE:	
	PROPOSED 2-STO FAMILY DWELLING	
	PROJECT ADDRESS LOT 1, CONCESS TOWNSHIP OF EF	ON 10,
	SHEET TITLE: SECOND FLOOR	PLAN
	SCALE: NTS PLOT DATE: Jan.25,2025	DRAWING NO.:
	DRAWN BY: VS CHECKED BY: HS / VS	PROJECT NO.: 202404



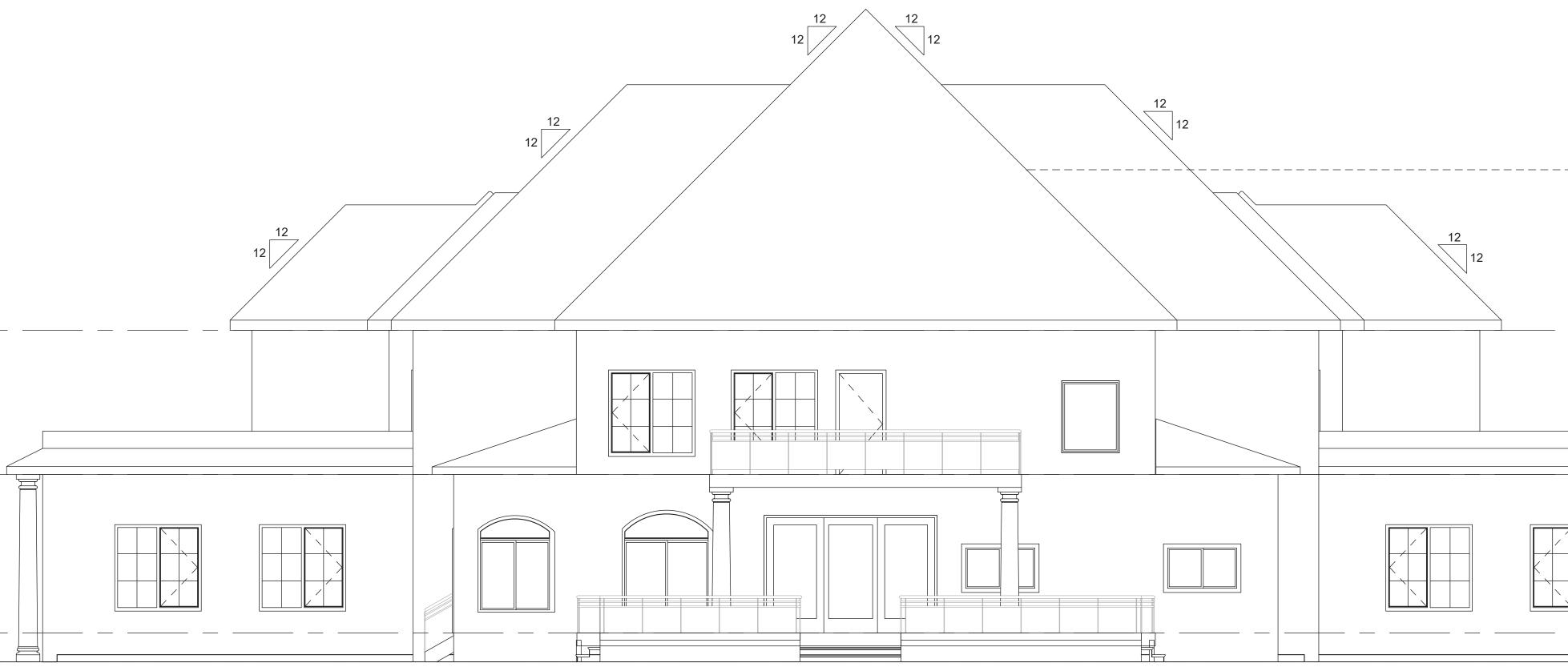


	Genera	l Notes
	 ALL THE DRAWINGS & SP INSTRUMENTS OF SERVIO PROPERTY OF ECO-ARCH SHALL NOT BE USED OR WITHOUT AUTHORIZATIO ARE TO BE RETURNED UI OF THE PROJECT. CONTRACTOR SHALL CHE ON THE WORK SITE AND R TO THE CONSULTANTS BE THIS DRAWING IS NOT TO CONSTRUCTION UNTIL SIG CONSULTANT. DRAWINGS ARE NOT TO BI LEGENDS:- 	CE AND ARE THE H CONSULTANTS INC. AND REPRODUCED N.DOCUMENTS PON COMPLETION CK ALL DIMENSIONS EPORT DISCREPANCIES FORE PROCEEDING. BE USED FOR INED BY THE
	REVISION NO. DATE	DESCIPTION BY
	ARCHITECTS: ECO-ARCH CON (Sustainable Archite 7 BLUE SPRUCE S BRAMPTON ON L6 E-MAIL: ecoarch@o ecoarch@y Mobile: 647-982-72 Office: 416-566-863	ecture & Interiors) TREET, R 1C4 ecoarchinc.com /ahoo.com 25
PEN TERRACE BELOW 2ND FLOOR LVL.	O ARCHI Vishu III VISHU	SOOD NCE
	PROJECT TITLE: PROPOSED 2-STC FAMILY DWELLING	
	PROJECT ADDRESS	
	LOT 1, CONCESSI TOWNSHIP OF ER SHEET TITLE: ROOF FLOOR PLA	IN
	SCALE: <u>1</u> " = 1'-0" PLOT DATE:	DRAWING NO.:
	Jan.25,2025 DRAWN BY: VS CHECKED BY: HS / VS	A6 PROJECT NO.: 202404



FRONT ELEVATION (NORTH)

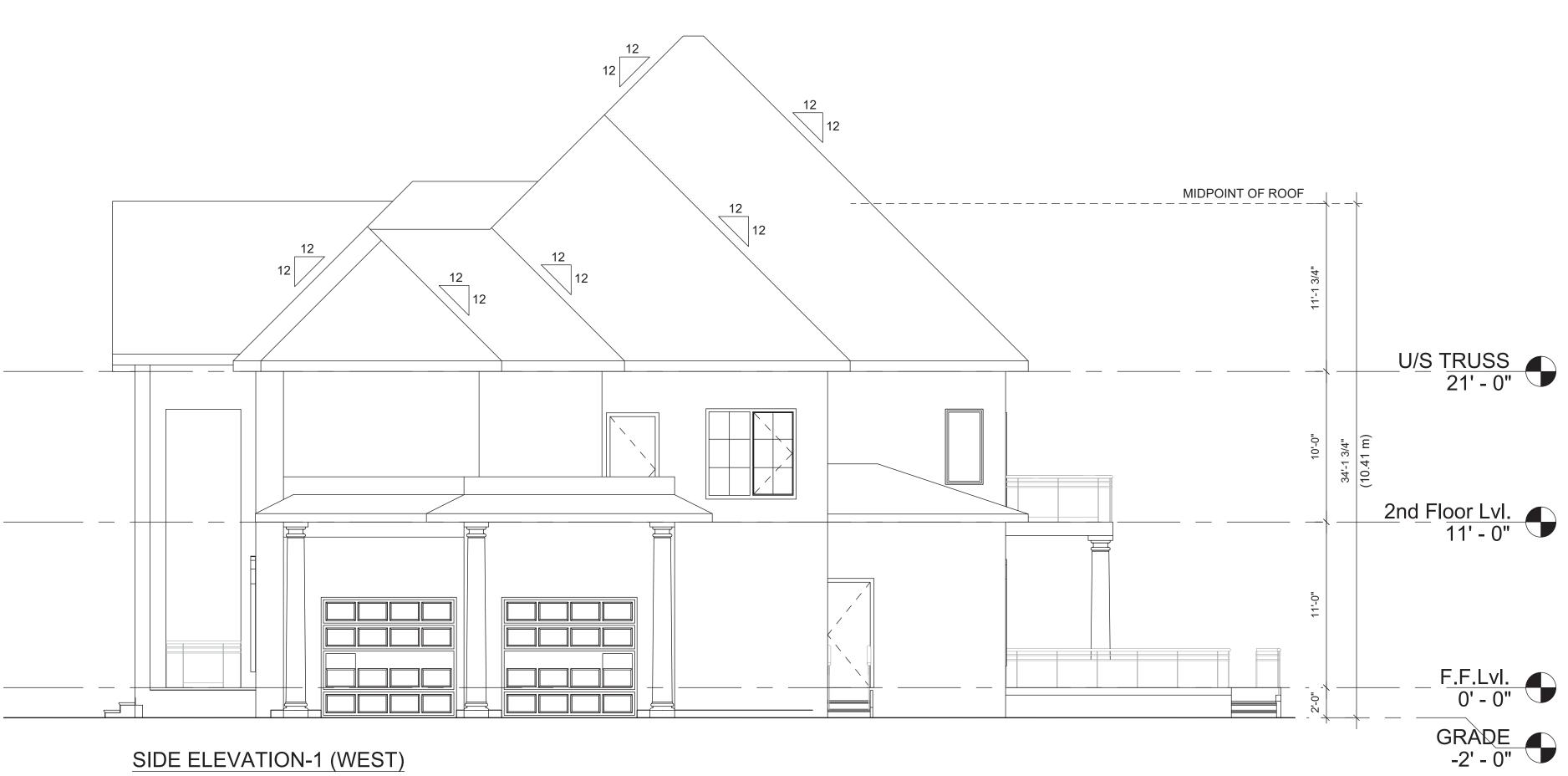
EXPOSED BUILDING FACE: 2335.43 Sq.ft. = 217.04 Sq.m. AREA OF UNPROTECTED OPENINGS: 559.31 Sq.ft. = 51.98 Sq.m.



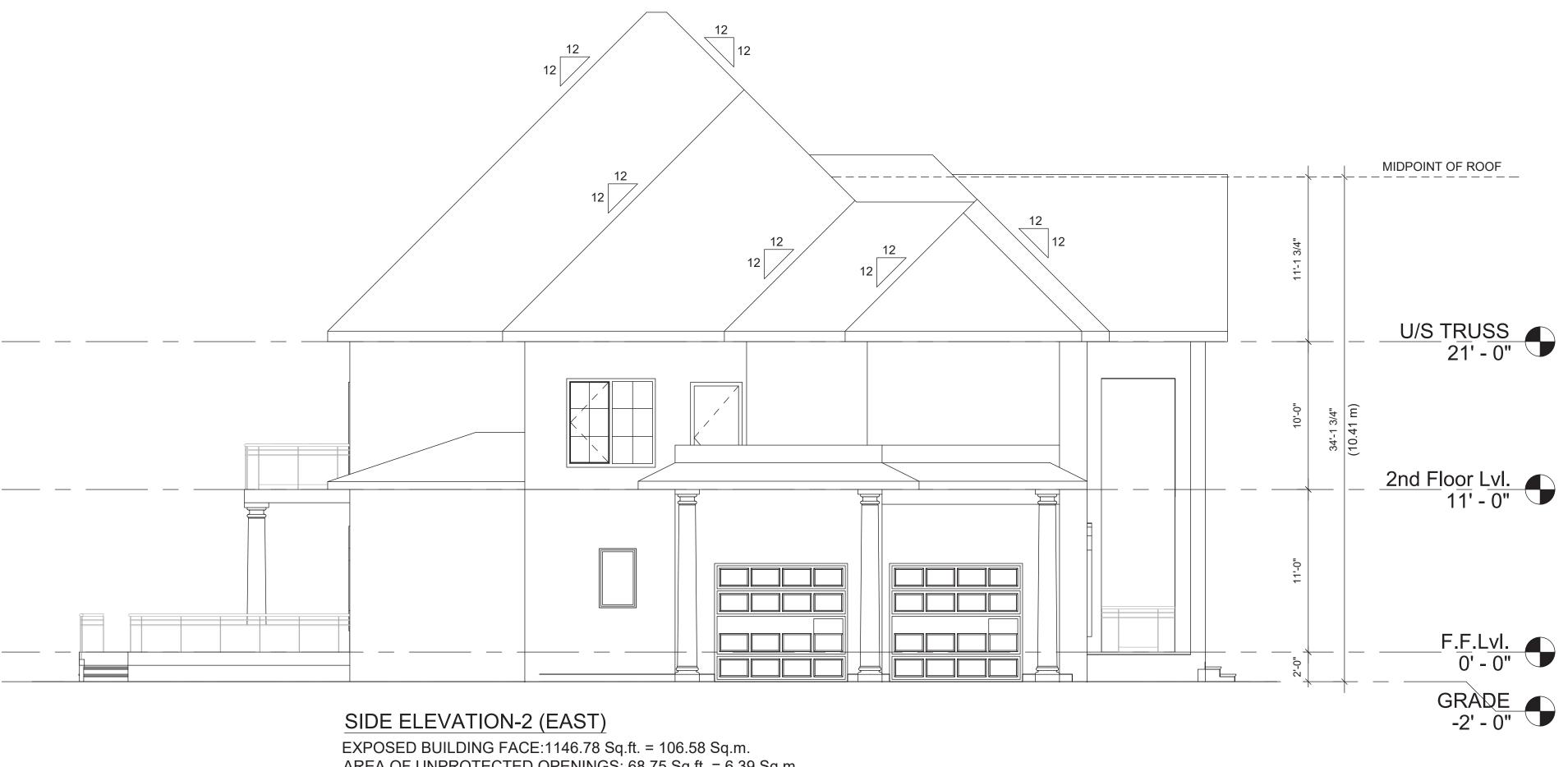
REAR ELEVATION (SOUTH) EXPOSED BUILDING FACE: 2365.54 Sq.ft. = 219.84 Sq.m. AREA OF UNPROTECTED OPENINGS: 293.28 Sq.ft. = 27.26 Sq.m.

MIDPOINT OF ROOF	<u>U/S TRUSS</u> 21' - 0"	 ALL THE DRAWINGS & SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF ECO-ARCH CONSULTANTS INC. AND SHALL NOT BE USED OR REPRODUCED WITHOUT AUTHORIZATION.DOCUMENTS ARE TO BE RETURNED UPON COMPLETION OF THE PROJECT. CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE CONSULTANT. DRAWINGS ARE NOT TO BE SCALED.
11:-0" 34:-1 3/4"	(100) <u>2nd Floor Lvl.</u> 11' - 0"	REVISION NO. DATE DESCIPTION BY
	$F.F.LvI. \\ 0' - 0'' $	1 2025-01-25 For Re-Zoning Application VS ARCHITECTS: ECO-ARCH CONSULTANTS INC. (Sustainable Architecture & Interiors) 7 BLUE SPRUCE STREET, BRAMPTON ON L6R 1C4 E-MAIL: ecoarch@ecoarchinc.com ecoarch@yahoo.com Mobile: 647-982-7225 Office: 416-566-8636
MIDPOINT OF ROO 	DF	LICENCE 10350
10'-0" 34'-1 3/4"	U/S TRUSS 21' - 0"	PROJECT TITLE:
	2nd Floor Lvl. 11' - 0"	PROPOSED 2-STOREY SINGLE FAMILY DWELLING PROJECT ADDRESS: LOT 1, CONCESSION 10, TOWNSHIP OF ERIN
	F.F.Lvl. 0' - 0" GRADE -2' - 0"	SHEET TITLE:FRONT & REAR ELEVATIONSSCALE: $\frac{3}{16}$ " = 1'-0"PLOT DATE:Inc. 25, 2025

General Notes



EXPOSED BUILDING FACE: 1146.30 Sq.ft. = 106.53 Sq.m. AREA OF UNPROTECTED OPENINGS: 94 Sq.ft. = 8.73 Sq.m.



EXPOSED BUILDING FACE:1146.78 Sq.ft. = 106.58 Sq.m. AREA OF UNPROTECTED OPENINGS: 68.75 Sq.ft. = 6.39 Sq.m.

	INSTRUMENTS	S OF SERVICE AND ARE THE				
		F ECO-ARCH CONSULTANTS INC. AND E USED OR REPRODUCED)			
		HORIZATION.DOCUMENTS				
	ARE TO BE RE	TURNED UPON COMPLETION				
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	CONSULTANT.					
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LE	EGEND	S:-				
	VISION	1				
NO.	DATE	DESCIPTION	BY			
		For Re-Zoning Application	VS			
	<u>RCHITECTS</u> :					
		H CONSULTANTS INC Architecture & Interiors)				
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		I ON L6R 1C4				
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		arch@yahoo.com -982-7225				
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HS / VS

General Notes