



**TOWN OF ERIN COMMITTEE OF ADJUSTMENT  
NOTICE OF PUBLIC HEARING  
OF APPLICATION FOR MINOR VARIANCE  
A09-24**  
*Planning Act, R.S.O. 1990, Chap.P.13, ss.45 (5)*

The Committee will give consideration to the minor variance application on:

**Date: Wednesday, July 17, 2024, at 6:00 pm**  
**Location: In-person at Town Hall, Council Chambers, 5684 Trafalgar Road**

Please submit written submissions and/or register to make oral submissions prior to **4:00 p.m.** on the consideration date. The public is encouraged to make oral submissions by pre-registering with the Secretary-Treasurer of the Committee of Adjustment by emailing [coa@erin.ca](mailto:coa@erin.ca) or calling the contact information listed below with your name and phone number. Please indicate the application number or address of the property you wish to speak to.

Your submissions, including any personal information you provide, will become part of the decision making process of the application and will be posted on the internet. Pursuant to Section 27 of the *Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c.M56*, as amended, public feedback to planning proposals is considered a public record and will be disclosed to any individual upon request.

**APPLICANT AND PROPERTY INFORMATION**

File Number:	<b>A09-24</b>	Subject Property Zoned:	<b>MU-3(H)</b>
Owners:	<b>2584343 Ontario Inc.</b>	Zoning By-law:	<b>07-67</b>
		Amended by By-law:	<b>18-34, 21-16, 22-43</b>
Property Address:	<b>185 Main Street</b>		
Legal Description:	<b>Lot 21, Registered Plan #102</b>		

**PURPOSE OF APPLICATION**

The applicant is applying for relief from Section 14 of Zoning By-law 07-67, as amended by By-laws 18-34, 21-16, and 22-43, and more specifically Schedule 2 of amending By-law 21-16, in order to relocate surface visitor parking from the English Street frontage to the Scotch Street frontage and other building setback adjustments related to those provisions as detailed below:

**REQUESTED VARIANCES**

Details of the variances are as follows:

By-law Requirement	Relief Applied For
<b>Block 6 to English Street on draft Site Plan</b>	
Minimum setback of 20.5 metres is required	4.8 metres is proposed; variance of 15.7 metres is requested



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By-law Requirement	Relief Applied For
<b>Blocks 4 and 5 on draft Site Plan</b>	
Minimum distance between Blocks 4 and 5 ground floor main wall of 13.0 metres is required	11.5 metres is proposed; variance of 1.5 metres is requested
<b>Block 8 to Scotch Street on draft Site Plan</b>	
Minimum setback from Block 8 to Scotch Street of 4.7 metres is required	3.5 metres is proposed; variance of 1.2 metres is requested
<b>Blocks 7 and 8 on draft Site Plan</b>	
Minimum distance between Blocks 7 and 8 ground (first) floor main wall of 20.0 metres is required	19.75 metres is proposed; variance of 0.25 m is requested
<b>Blocks 4, 5 and 6 on draft Site Plan</b>	
Minimum Sideyard setback of 2.2 metres is required	1.5 metre setback to the ground floor main wall and 1.0 metre to floors above ground floor are proposed; variance of 0.70 metres to the ground floor wall and 1.2 metres to the floors above the ground floor are requested
Minimum Sideyard setback of 1.3 metres is required	1.2 metre setback is proposed to floors above ground (first) floor main wall; variance of 0.10 metres is requested

**THIS PROPERTY** is also subject to an application for Site Plan Control (SP07-22).

#### **PUBLIC PARTICIPATION**

Any person or public body is entitled to attend the public meeting and make written or oral submissions on the proposed variance.

#### **NOTICE OF DECISION AND APPEAL RIGHTS**

If you wish to be notified of the decision of the Committee of Adjustment for the Town of Erin in respect of this application, you must submit a written request to the Secretary-Treasurer of the Committee of Adjustment for the Town of Erin at the address provided below or by email to [coa@erin.ca](mailto:coa@erin.ca).

Be advised that only the applicant, the Minister or a specified person or public body that has an interest in the matter may appeal the decision of the Committee to the appeal body in accordance with subsection 45(12) of the *Planning Act, R.S.O 1990 c. P.13*.



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**IT IS REQUESTED THAT** this notice be posted by the owner of any land that contains seven or more residential units in a location that is visible to all residents.

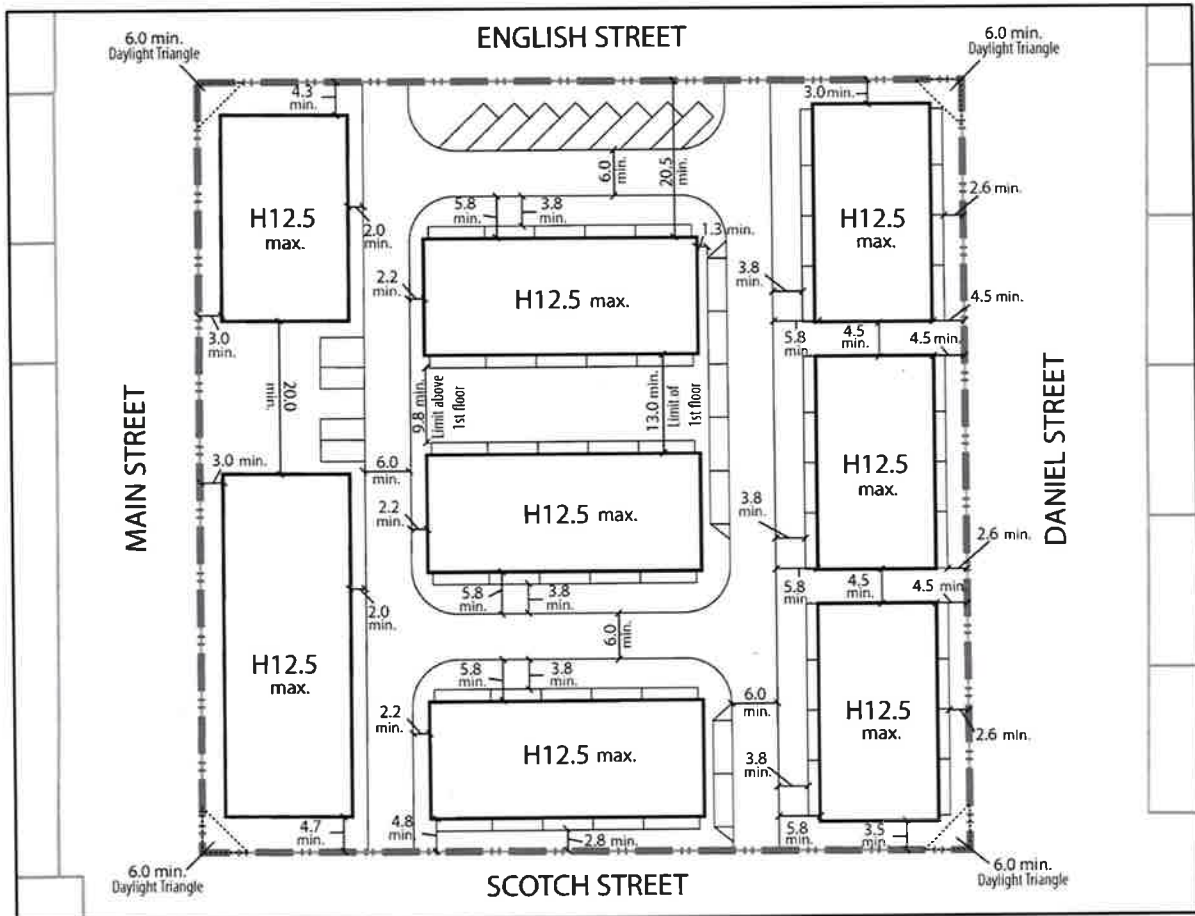
**ADDITIONAL INFORMATION** regarding this application, including information about appeal rights, is available between 8:30 a.m. and 4:30 p.m. at the Town of Erin Municipal Office.

Dated at the Town of Erin  
This 3<sup>rd</sup> day of July, 2024.

Justin Grainger, Secretary-Treasurer  
Town of Erin  
5684 Trafalgar Road  
Hillsburgh, ON N0B 1Z0  
P 519.855.4407 x223



**SCHEDULE 2**  
**TO ZONING BY-LAW No. 2021-16**  
**THE CORPORATION OF THE TOWN OF ERIN**



Note: Not to Scale

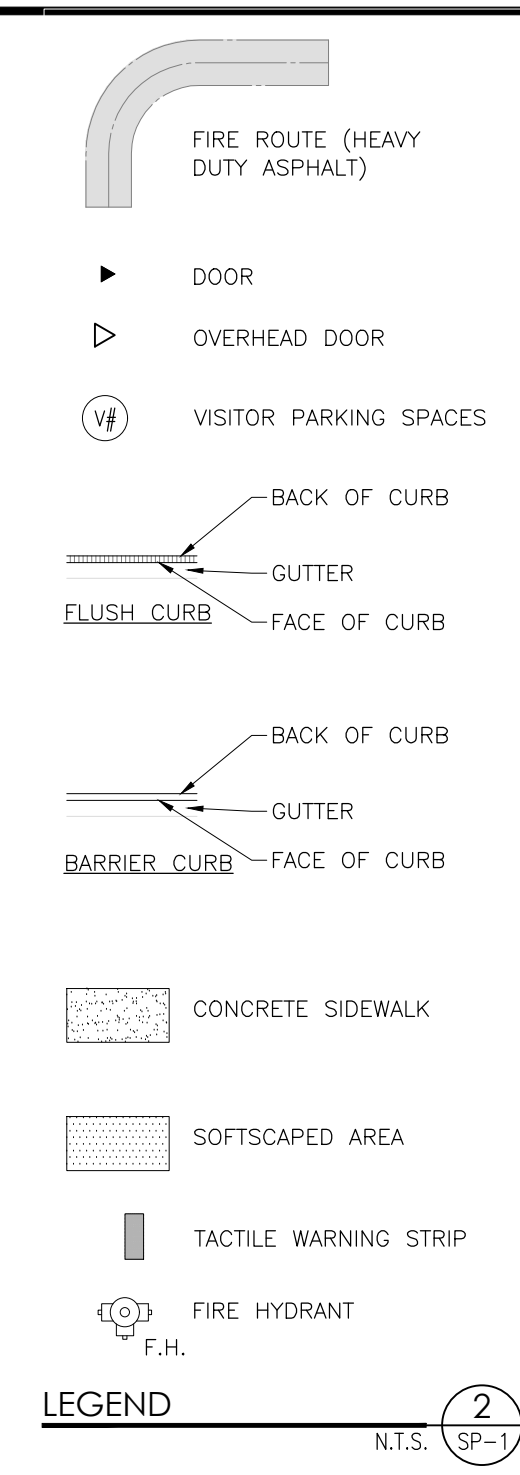
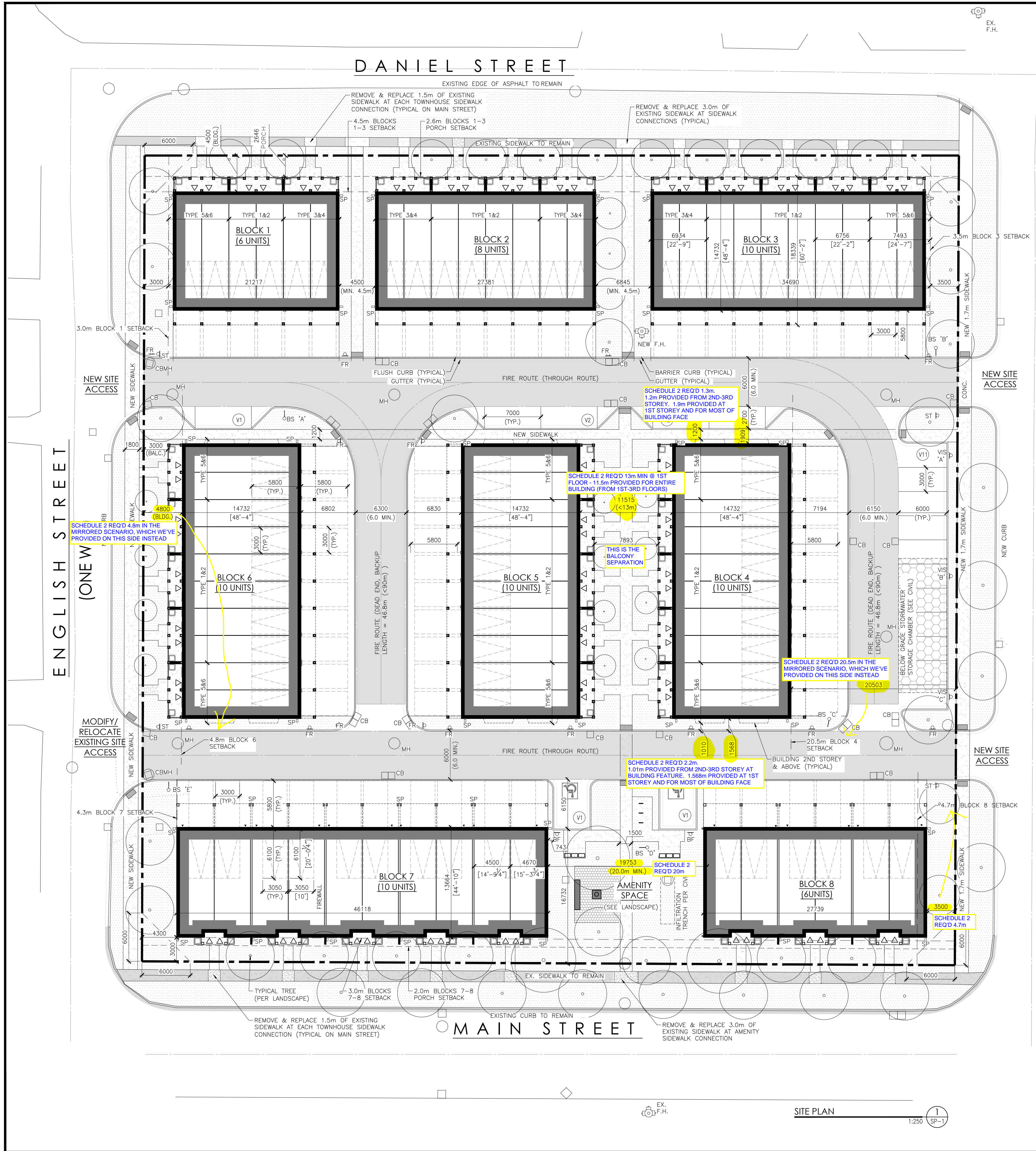


THIS SCHEDULE 2 TO BY-LAW No. 2021-16 PASSES ON THE 6<sup>th</sup> DAY OF April, 2021

  
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**MAYOR**

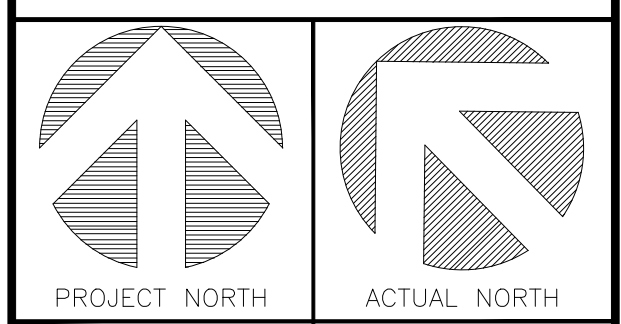
  
 \_\_\_\_\_  
**CLERK**







**GRINHAM  
ARCHITECTS**  
15 Yarmouth Street  
Guelph, Ontario, N1H 4G2  
Tel: 519.766.1580  
Fax: 519.766.1377  
Email: info@grinham.ca  
Web: www.grinham.ca



CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.		
DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF THE ARCHITECT AS INSTRUMENTS OF HIS SERVICE AND MUST BE RETURNED AT HIS REQUEST.		
DO NOT SCALE DRAWINGS.		
NO.	DATE	REVISIONS
01	18-NOV-2022	DRAFT SP TO PLANNER FOR REVIEW
02	22-NOV-2022	SITE PLAN DRAFT 2 TO PLANNER
03	25-NOV-2022	SPA 1ST SUBMISSION
04	11-AUG-2023	ISSUED FOR COORDINATION
05	17-AUG-2023	ISSUED FOR COORDINATION
06	03-OCT-2023	CLIENT REVIEW
07	30-OCT-2023	SPA 2ND SUBMISSION
08	24-MAY-2024	COORDINATION
09	31-MAY-2024	COORDINATION (REDUCE BLDG SIZE)
10	10-JUN-2024	SITE PLAN FOR TOWN DISCUSSION

**KENSINGTON  
SQUARE  
DEVELOPMENTS**

185 MAIN STREET  
ERIN, ONTARIO

SITE PLAN	
DATE:	10-Jun-2024
DRAWN BY:	MWA
CHECKED BY:	LAG
STATUS:	---
JOB NO:	2262
FILE:	---
FOLDER:	---

SP-1